

**From:** Brandy McMahon <bcmcmahon@trpa.gov>  
**Sent:** 5/3/2024 2:25:39 PM  
**To:** Graham St. Michel <gstsmichel@trpa.gov>  
**Subject:** FW: TRPA Case ERSP2023-0701  
**Attachments:** [image001.jpg](#), [32 Moana Cir - Findings 2024.01.10.pdf](#), [32 Moana Circle - revised TRPA Plan Set 2024.01.10.pdf](#)

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FYI

Brandy McMahon, AICP  
Principal Planner  
Permitting & Compliance Department  
(775) 589-5274  
[bcmcmahon@trpa.gov](mailto:bcmcmahon@trpa.gov)



[trpa.gov](http://trpa.gov) | [facebook](#) | [twitter](#) | [instagram](#)

Parcel and permit information can be found at [LTInfo.org](http://LTInfo.org).

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**From:** Sevilla Santana <sevilla@evolvedesignworks.com>  
**Sent:** Wednesday, January 10, 2024 11:29 AM  
**To:** Brandy McMahon <bcmcmahon@trpa.gov>  
**Cc:** Hanni Walsh <hanni@evolvedesignworks.com>  
**Subject:** Re: TRPA Case ERSP2023-0701

Hi Brandy,

1. I have revised sheet A3.3 with the correct APN.
2. The BMP plan for the entire site is shown on page C1.1.
3. I recalculated the slope of the driveway - the 12.5% slope calculation was incorrect. I have recalculated the slope of the driveway to be 10% based on the proposed driveway. I have addressed the finding and included it in this email.
4. I have confirmed the tree was removed and revised the scenic assessment accordingly. See sheet A3.3.

I have attached the revised TRPA Set, and findings.

**Sevilla Santana**  
Staff Engineer  
[sevilla@evolvedesignworks.com](mailto:sevilla@evolvedesignworks.com)  
530.807.7578

PO Box 7586  
3080 N. Lake Blvd. Suite A  
Tahoe City, CA 96145

On Tue, Jan 9, 2024 at 8:32 AM Brandy McMahon <[bcmcmahon@trpa.gov](mailto:bcmcmahon@trpa.gov)> wrote:

Dear Sevilla,

I reviewed the revised plans and have the following comments/questions:

1. The note on A3.3 that reads "THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT WAS EVALUATED AS A PROJECT AREA TO INCLUDE APN: 094-191-018" needs to be revised to reference APN: 098-191-018 (the subject site). *I will condition this change be made in the permit.*

2. I still need a BMP plan for the entire site, not just the proposed ADU/garage.
3. A driveway with a 12.5% slope is proposed. Please address the attached finding and email me a copy.
4. In one of the public comment letters, it says "the photos for the scenic assessment are from 2021. The landscape has changed a bit, including the removal of a large tree in front of the main house, which could perhaps affect the scenic assessment." TRPA approved a tree removal permit (ref. TREE2022-0984). Please confirm that the tree that was removed is not included in the scenic assessment.

I will move forward with issuing the conditional permit once the above items have been addressed.

Sincerely,

Brandy McMahon, AICP  
Local Government Coordinator  
Permitting & Compliance Department  
(775) 589-5274  
[bcmcmahon@trpa.gov](mailto:bcmcmahon@trpa.gov)



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**From:** Sevilla Santana <[sevilla@evolvedesignworks.com](mailto:sevilla@evolvedesignworks.com)>  
**Sent:** Tuesday, January 2, 2024 3:41 PM  
**To:** Brandy McMahon <[bcmcmahon@trpa.gov](mailto:bcmcmahon@trpa.gov)>  
**Subject:** Re: TRPA Case ERSP2023-0701

Hi Brandy,

I am following up on this email. Any update with the status of the TRPA permit for 32 Moana Circle.

Let me know if you have any questions.

Thanks,

**Sevilla Santana**  
Staff Engineer  
[sevilla@evolvedesignworks.com](mailto:sevilla@evolvedesignworks.com)  
530.807.7578

□ PO Box 7586  
3080 N. Lake Blvd. Suite A  
Tahoe City, CA 96145

On Mon, Dec 11, 2023 at 2:47 PM Sevilla Santana <[sevilla@evolvedesignworks.com](mailto:sevilla@evolvedesignworks.com)> wrote:

Hi Brandy,

I know this is delayed, but I am following up with the project at 32 Moana Circle. The attached files address your questions/comments sent to Hanni 8/29.

Let me know if you have any questions.

Thanks!

**Sevilla Santana**  
Staff Engineer  
[sevilla@evolvedesignworks.com](mailto:sevilla@evolvedesignworks.com)  
530.807.7578

□ PO Box 7586  
3080 N. Lake Blvd. Suite A  
Tahoe City, CA 96145

January 10, 2024

Tahoe Regional Planning Agency  
P.O. Box 5310  
Stateline, NV 89449

**Re: Figone Garage & ADU**  
**APN: 098-191-018**  
32 Moana Circle  
Tahoma, California 96142  
Placer County

### **Applicable Findings**

#### Findings Necessary to Approve Any Project

4.4.1.A-C Finding Rationale: The proposed single-family residential project is consistent with the TRPA Goals and Policies and the TRPA Code of Ordinances. The rebuilt single-family residence will not impact environmental threshold carrying capacities. Temporary and permanent BMP's are proposed and shown on the proposed site plan.

#### Permissible Uses

21.2.2.A-C Finding Rationale: The proposed single-family residential project is consistent with residential zoning designation. This project will not be injurious or disturbing to the welfare of persons or property in the neighborhood or region. Through implementation of BMPs, LID, and green building principles there should be no impact to the resources on the property or surrounding area. Temporary and permanent BMP's are proposed in conjunction with this project as shown on the civil plan set and will protect water and air quality. Due to the mountain architecture style of the residence and associated landscaping the project fits in with the character of the neighborhood and the greater Tahoe region.

#### Land Coverage

30.4.1 Finding Rationale: A site assessment was completed September 20, 2019 by TRPA – LCAP2019-0214. The TRPA identified that the total verified existing coverage on the parcel is 1,735 SF of class 1a area, 348 SF of 1b area, and 3,043 SF of Class 5 area, with a total of 5,022 SF. The project proposes 4,994 SF of coverage, which is less than the allowable 5,022 SF of coverage.

#### 33.3.1 Grading Standards – Seasonal Limitations

Finding Rationale – All grading will be done between May 1st and October 15th.

#### 33.3.6 Excavation Limitations – Groundwater Interception

Finding Rationale – The proposed project does not interfere or intercept ground water. The proposed excavations and foundations are required to comply with local building codes for minimum depth below natural grade.

#### 34.3.1 Driveways

Finding Rationale – The proposed driveway was approved for fire safe access by the North Tahoe Fire Protection District and conforms to the general standards for driveways in the Tahoe Basin and Placer County. The proposed complies with Section 34.3.1 and has two parking spots available.

#### 34.3.2. E. Slope of Driveways

Finding rationale – The slope of the proposed driveway is 10%. The proposed slope complies with section 34.3.2.

#### 37.4.1 Height Standards for Buildings

Finding Rationale – The maximum allowable height is 32'-1", citing a 3:12 roof pitch and 18% slope across the building footprint. The proposed maximum height is 30'-4". The proposed project is in compliance with the height standards set forth by Section 37.4.

#### 37.5.1. Approval of Building Heights Greater Than 26

##### A. Additional Height for Roof Pitch of Up to 5:12

Finding Rationale – The proposed maximum building height is 30'-4", citing a 3:12 roof pitch. When viewed from major arterials, scenic turnouts, public recreation areas, or the waters of Lake Tahoe, from a distance of 300 feet, the additional height does not cause the proposed building to extend above the forest canopy, or a ridgeline. The proposed project is in compliance with the height standards set forth by Section 37.5.1.A and 37.7.1.

#### 60.4.6. BMP Infiltration Requirements

Finding Rationale - Permanent BMPs proposed with this project include drip line trenches, drip line armoring, and dry wells. The infiltration facilities are designed to accommodate a twenty year, one-hour storm. Temporary construction BMPs include soil protection/erosion prevention(silt fence and fiber rolls) and tree protection. These measures are in conformance with the current TRPA Handbook of Best Management Practices.

#### 61.1.6.c Minimum Standards for Tree Removal

Finding Rationale - The proposed trees to be removed comply with the minimum standards of tree removal and the removal methods outlined in Table 61.1.6-4.

#### 66.3.3.E.2 Scenic Quality Review in the Shoreland

Finding Rationale: The proposed project complies with Level 4 Scenic Review. A comprehensive assessment of the parcel was prepared which resulted in the cumulative contrast rating of 24. The subject project proposes 992 square feet of total visible lakefront façade. This is within the maximum allowable visible area of 1,035 square feet based on the composite contrast score of 24 points.



Hanni Walsh, PE  
VP | Principal Designer  
530.318.0001  
[hanni@evolvedesignworks.com](mailto:hanni@evolvedesignworks.com)  
PROJECT NO. 2022.062

Please feel free to give me a call if you have any questions or need any additional information.

Sincerely,

A handwritten signature in blue ink that reads "Hanni Walsh". The signature is fluid and cursive, with the first and last names clearly legible.

Hanni Walsh

# Figone ADU & Garage

stamp

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 appearing herein constitute original and  
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project number	2022.062	
drawn by	-	checked by -
ISSUES & REVISIONS		
no.	description	date
A	NTDFP LAR	2023.03.23
1	TRPA Submittal	2023.06.05

project location

## GOVERNING AGENCIES, ORGANIZATIONS, & UTILITIES

PLACER COUNTY BUILDING DEPT.  
 (TAHOE BUILDING DIVISION OFFICE)  
 775 N. LAKE BLVD.  
 P.O. BOX 5036  
 TAHOE CITY, CA. 96145  
 PHONE: 530.581.6200  
 FAX: 530.581.6204

PLACER COUNTY ENVIRONMENTAL HEALTH  
 775 N. LAKE BLVD., SUITE 203  
 TAHOE CITY, CA. 96145  
 PHONE: 530.581.6240  
 envhealthtahoecity@placer.ca.gov

TAHOE CITY PUBLIC UTILITY DISTRICT  
 221 FAIRWAY DRIVE  
 TAHOE CITY, CA 96145  
 PHONE: 530.583.3796  
 http://www.tahoe-city-pud.com

MEEKS BAY FIRE PROTECTION DISTRICT  
 8041 EMERALD BAY ROAD  
 MEEKS BAY, CALIFORNIA  
 P.O. BOX 189  
 TAHOMA, CALIFORNIA 96142  
 PHONE (530) 525-7548  
 FAX (530) 525-4502

LIBERTY ENERGY  
 701 NATIONAL AVE.  
 P.O. BOX 107  
 TAHOE VISTA, CA 96148  
 PHONE: 800.782.2506  
 http://www.liberty-energy.com/pages/home.php

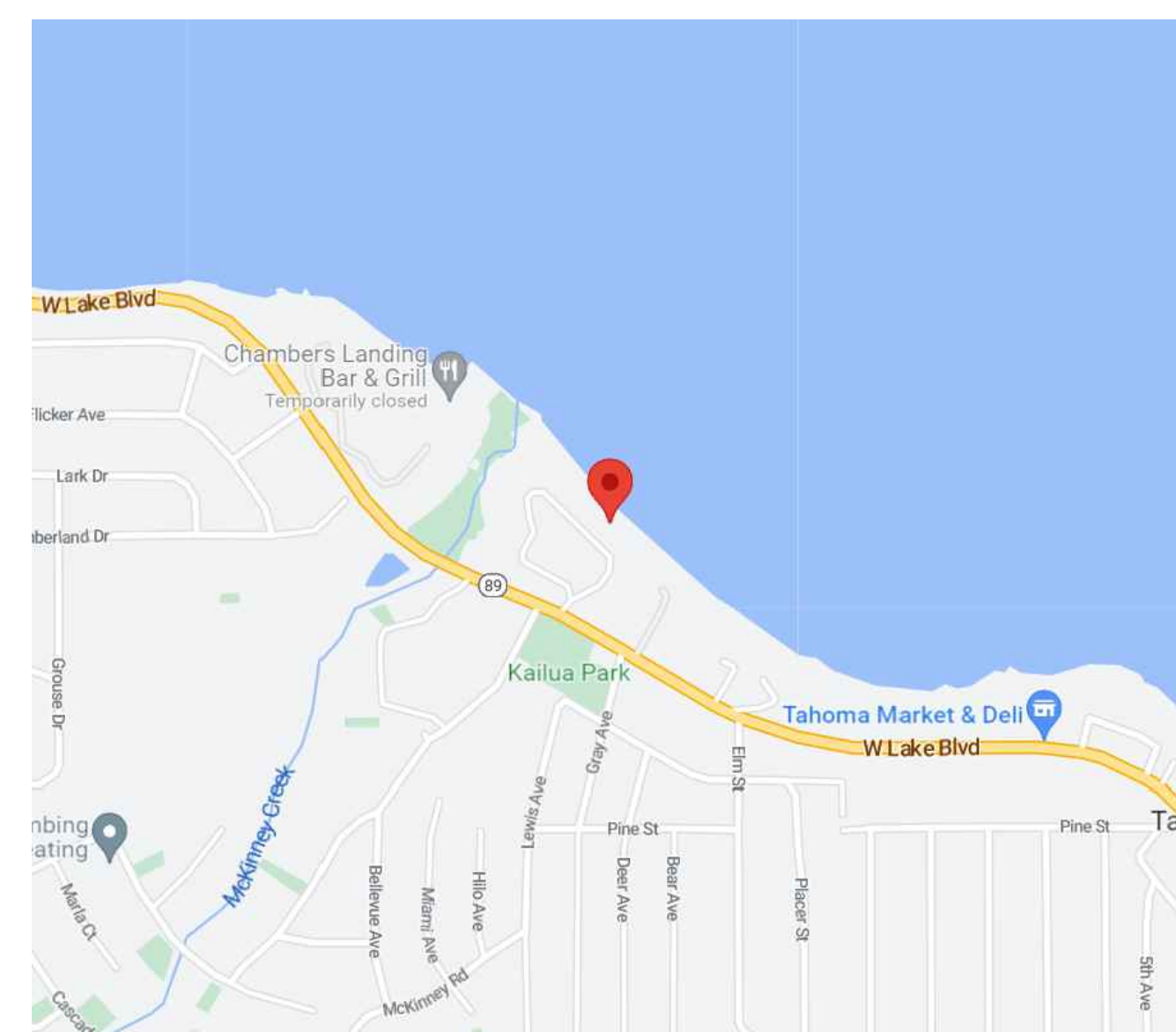
SOUTHWEST GAS CORPORATION  
 (LOCAL CUSTOMER ASSISTANCE LOCATION)  
 10682 PIONEER TRAIL  
 TRUCKEE, CA 96161-0218  
 PHONE: 877.860.6020  
 http://www.swgas.com/contactus/nncvcontacts.php

## PROJECT CONTACT INFORMATION

OWNER  
 Vicki Figone  
 35 Creek View Circle  
 Larkspur, California  
 415.377.8817  
 vickifigone@hotmail.com

ENGINEER OF RECORD & DESIGNER  
 EVOLVE DESIGN WORKS  
 HANNI WALSH, PE  
 PO BOX 7586  
 TAHOE CITY, CA 96145  
 530.318.0001  
 hanni@evolvedesignworks.com

## VICINITY MAP / PROJECT LOCATION



## APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (2022 CBC)  
 2022 CALIFORNIA ELECTRICAL CODE (2022 CEC)  
 2022 CA ENERGY CODE  
 2022 CALIFORNIA MECHANICAL CODE (2022 CMC)  
 2022 CALIFORNIA PLUMBING CODE (2022 CPC)  
 2022 CALIFORNIA RESIDENTIAL CODE (2022 CRC)  
 2022 CALIFORNIA FIRE CODE (2022 CFC)  
 NTFDP ORDINANCE 02-2022, MBFPD ORDINANCE 22-01  
 2022 CALIFORNIA GREEN BUILDING CODE (2022 CALGREEN)  
 2022 BUILDING ENERGY EFFICIENCY STANDARDS

### CODE ANALYSIS

Occupancy: R-3, CBC 310.5  
 Type of Construction: Type VB, CBC 602.5

## SPACE CALCULATIONS

<b>UNCONDITIONED</b>		
GARAGE/STORAGE	687 SQ. FT.	
DECK	67 SQ. FT.	
UPPER STAIR/LANDING	69 SQ. FT.	
<b>CONDITIONED</b>		
UPPER FLOOR (LIVING)	618 SQ. FT.	

## DEFERRED SUBMITTALS

1. FIRE SPRINKLERS

## PROJECT SCOPE

REMOVE (E) GARAGE. NEW GARAGE WITH ADU ABOVE. NEW DRIVEWAY AND PARKING AREA.

## SHEET INDEX

COVER SHEET	0.0
<b>CIVIL</b>	
SITE PLAN	A1.2
BMP PLAN	C1.1
BMP DETAILS	C1.2
<b>ARCHITECTURAL</b>	
FLOOR PLANS	A2.1
BUILDING ELEVATIONS	A3.1
BUILDING MATERIAL AND FINISHES	A3.2
TRPA SCENIC ELEVATION	A3.3
BUILDING SECTIONS	A4.1

New Garage & ADU for:

Vicki Figone  
 32 Moana Circle  
 Tahoma California  
 Placer County 098-191-018

description

**Cover Sheet**

sheet

**0.0**





















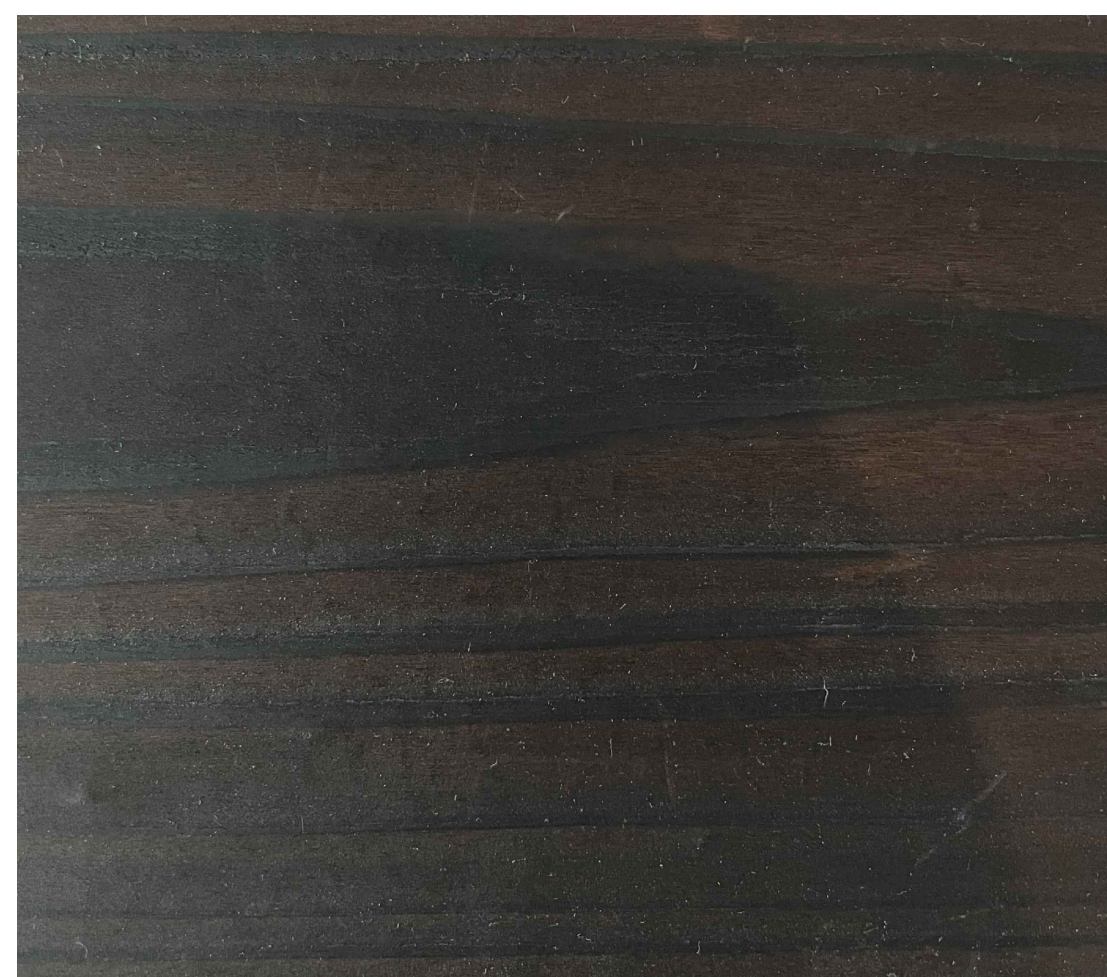




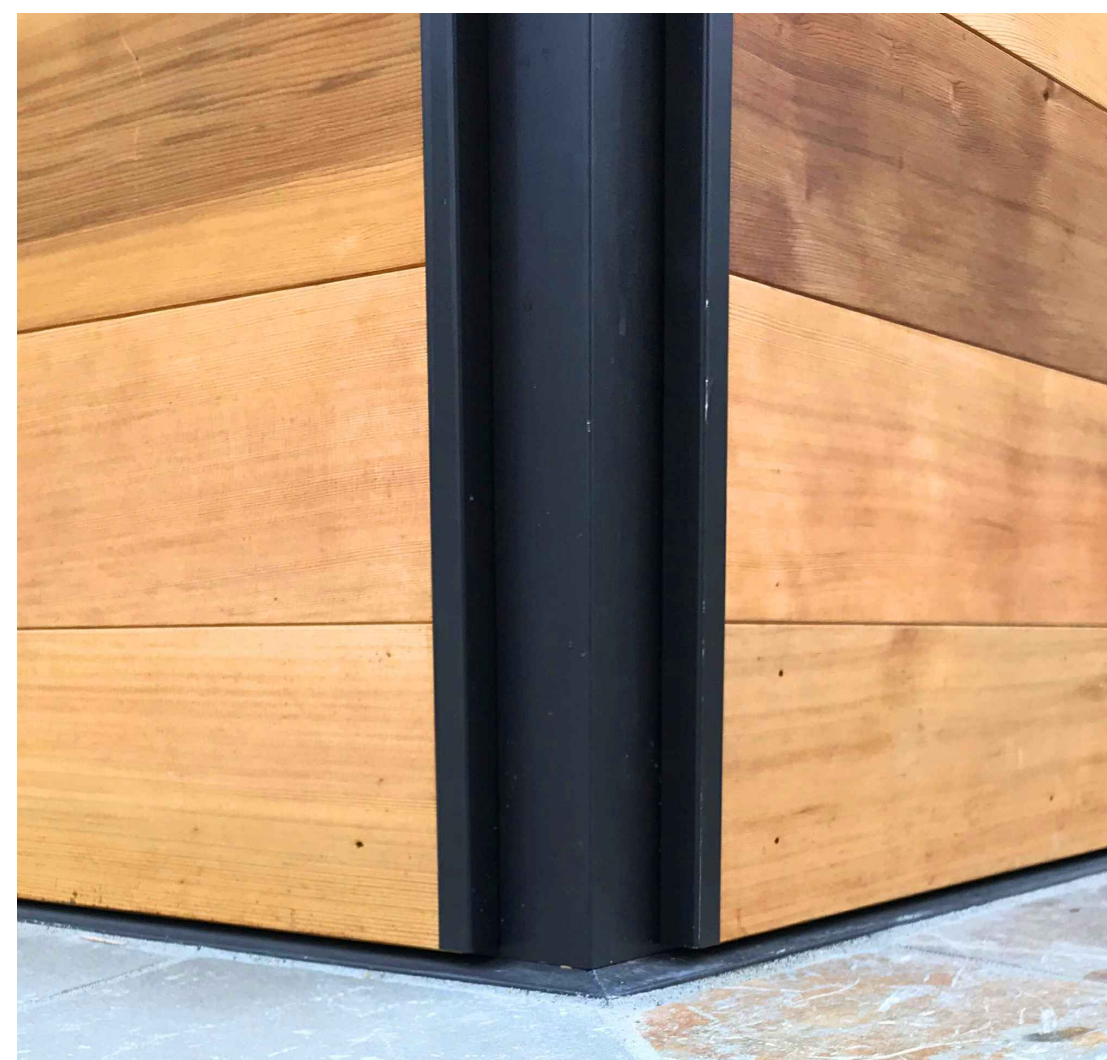
1) WOOD SIDING (1X6)



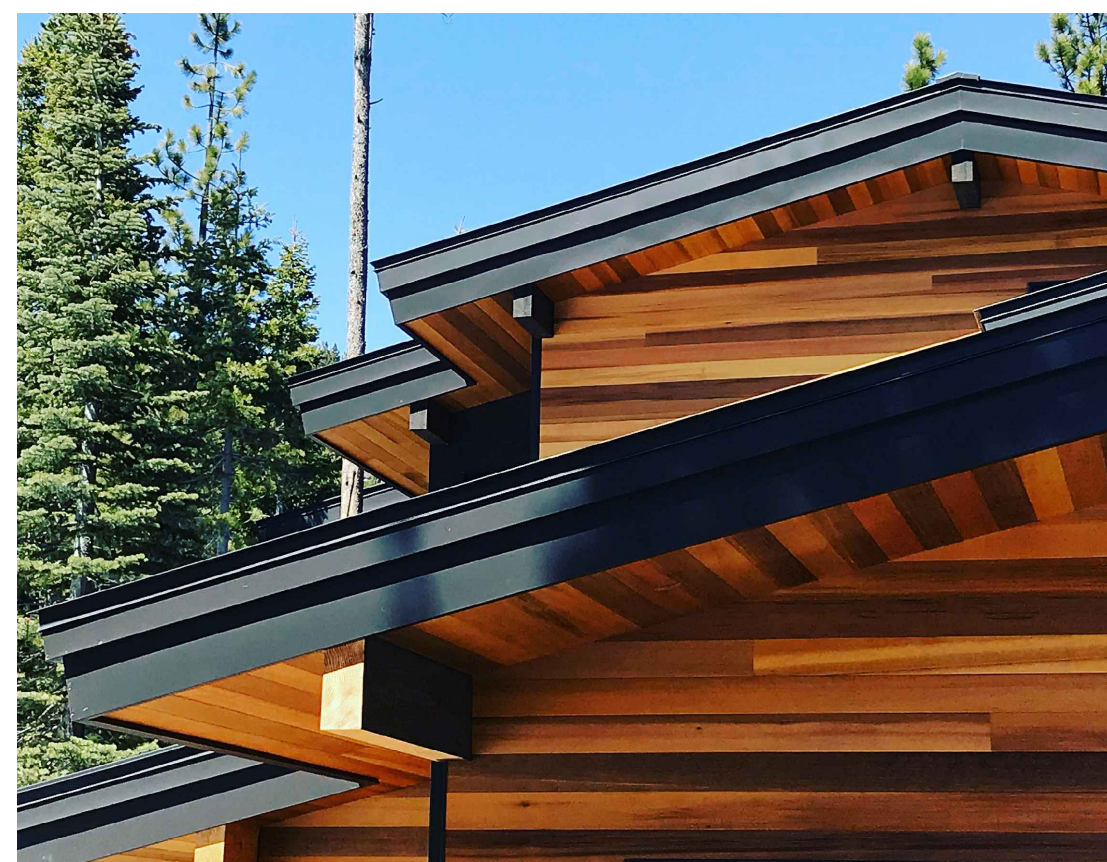
2) METAL PANEL SIDING & TRIM DETAIL. COLOR IS NOT AS PROPOSED - SEE SCHEDULE.



6) WOOD SIDING (1X4)



2) 3-PIECE METAL CORNER TRIM DETAIL. COLOR IS NOT AS PROPOSED. WOOD SIDING IS NOT PROPOSED - SEE SCHEDULE.



2) METAL ROOFING; METAL FASCIA & SHINGLE MOULD DETAIL. COLOR IS NOT AS PROPOSED.  
5) SOFFITS  
WOOD SIDING IS NOT AS PROPOSED. SEE SCHEDULE.

### EXTERIOR COVERINGS NOTES

- 1) EXTERIOR WALLS/COVERINGS SHALL COMPLY WITH THE REQUIREMENTS OF CRC SECTION R703. WALL COVERINGS SHALL HAVE AN ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHEN REQUIRED, EXTERIOR WALLS/COVERINGS SHALL ALSO FULLY COMPLY WITH WUI-CODE CRC SECTION R337.7.
- 2) EXTERIOR WALL COVERINGS, BACKING MATERIALS AND THEIR ATTACHMENTS SHALL MEET OR EXCEED WATER AND WIND RESISTANCE AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.1.1, R703.1.2 AND R703.2.
- 3) EXTERIOR WALL COVERINGS SHALL MEET OR EXCEED THE THICKNESS AND ATTACHMENT/FASTENER REQUIREMENTS AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.3.
- 4) PROVIDE CORROSION-RESISTANT FLASHINGS AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.4.
- 5) INSTALL HORIZONTAL AND VERTICAL WOOD AND HARDWOOD SIDING IN ACCORDANCE WITH CRC SECTION R705.
- 6) WATER-RESISTIVE BARRIERS SHALL BE INSTALLED OVER WOOD-BASED SHEATHING AS REQUIRED AND DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.7.3.

### HEIGHT CALCULATIONS

SEE SHEET A3.1

### EXTERIOR FINISH SCHEDULE

- 1) WOOD SIDING: 1X6 TRESTLEWOOD NATURE AGED CEDAR T&G W/1/4"X1/4" CHANNEL; OFSM #8140-2041:0001
- 2) PAINTED STEEL METAL ROOFING, METAL PANEL SIDING, FLASHINGS, CORNER TRIM, WINDOW & DOOR TRIM, WATERTABLE, FASCIA/SHINGLE MOULD CLADDING: BERRIDGE POWDERCOAT KYNAR 500 LOW GLOSS "AGED BRONZE"
- 3) LIGHTING FIXTURES/TRIMS: PAINTED TO MATCH METAL PANEL. SCONES: HINKLEY "KUBE" - SEE SPEC ON SHEET A3.2
- 4) WINDOWS: ANDERSEN "BLACK"
- 5) SOFFITS: 1X6 DOLLY VARDEN CLEAR VERT GRAIN CEDAR T&G - FINE LINE - NAT'L STAIN
- 6) WOOD SIDING: 1X4 CYPRESS T&G DELTA MILLWORKS, BURNED & BRUSHED - NAT'L FINISH - OFSM #8140-2041:001

### EXTERIOR FINISH LEGEND

#### TRPA DESIGN STANDARDS:

- 1) COLOR: THE COLOR OF THE STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTH TONE AND WOOD TONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. APPROPRIATE EARTH TONES ARE CONSIDERED TO BE SHADES OF DARK REDDISH BROWN, DARK BROWN, AND DARK GREEN.
- 2) ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH TONE OR WOOD TONE MATERIALS THAT MINIMIZE REFLECTIVITY. ALL EXPOSED METAL ROOFING MATERIALS, INCLUDING FLASHING AND CHIMNEY CAPS SHALL BE PAINTED OR PRE-WEATHERED TO MINIMIZE REFLECTIVITY. GLOSS RATING (G.R.), AROUND OR BELOW 10. GC SHALL CONFIRM ROOFING G.R. COMPLIANCE W/ TRPA.
- 3) EXTERIOR LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES, CHAPTER 30, SECTION 30.8, EXTERIOR LIGHTING STANDARDS.

### ROOF NOTES

- 1) ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CRC SECTION R337 AND R902. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. CRC SECTION R337.5.2.
- 2) ROOF COVERING MATERIAL SHALL BE METAL, NON-COMBUSTIBLE, OR SHALL BE LISTED AS CLASS "A" FIRE RETARDANT MATERIAL. CERTIFICATE OF COMPLIANCE SHALL BE FILED WITH THE BUILDING DEPARTMENT.
- 3) WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING ON ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CRC SECTION R337.5.3. CBC SECTION 705A.3.
- 4) ALL ROOFS, REGARDLESS OF COVERING, WITH A PITCH OF LESS THAN 8:12 SHALL BE PROTECTED AGAINST LEAKAGE FROM ICE BUILD UP. ICE GUARD SHALL BE INSTALLED WITH AN APPROVED CEMENTING MATERIAL SO THAT THE MEMBRANE AND ROOF SHEATHING ARE SOLID MORTED TOGETHER EXTENDING FROM THE EAVE, INCLUDING THE OVERHANG, UP THE ROOF TO A POINT 5 FEET INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. PROTECTION ALSO REQUIRED AT RAKE WALLS AND VALLEYS, 30" ALONG EACH SIDE. THIS SHALL BE COMPLETED IN ADDITION TO UNDERLAYMENT OTHERWISE REQUIRED.
- 5) EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF CRC SECTION R337.7.5 OR SHALL BE PROTECTED BY IGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.
- 6) ROOF GUTTERS: NOT USED
- 7) NOT USED.
- 8) VENTS: (E) ROOF VENTILATION TO REMAIN AND/ OR BE REPAIRED.
- 9) HOT OR COLD MOP UNDERLAYMENT ROOFING IS REQUIRED AS NOTED IN CRC SECTION R905.7.1
- 10) ALL PLUMBING VENT, B-VENTS, CHIMNEYS, AND MISC. OBSTRUCTIONS PROJECTING THROUGH A ROOF OF 3:12 SLOPE OR GREATER, SHALL BE PROTECTED FROM DAMAGE BY SKIDING SNOW OR ICE, EXCEPT FOR THOSE PROJECTIONS WITHIN 36" OF THE RIDGE. THIS SHALL BE ACCOMPLISHED BY USING FORMED METAL GUARDS CRICKETS, SADDLES, OR OTHER METHODS APPROVED BY THE CHIEF BUILDING OFFICIAL.

### KUBE

**1769SK**  
SMALL UP/DOWN LIGHT WALL MOUNT LANTERN

A collection of sleek designs, Kube's contemporary style featuring solid aluminum construction provides a chic, minimalist statement to complement a variety of exteriors.

DETAILS	
FINISH:	Satin Black
MATERIAL:	Extruded Aluminum
GLASS:	Etched Lens

DIMENSIONS	
WIDTH:	6"
HEIGHT:	6"
WEIGHT:	4 lbs.
BACK PLATE:	4.5" Sq.
EXTENSION:	6.8"
TOP TO OUTLET:	3"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	(2) LC1-60
WATTAGE:	15w LED *included
VOLTAGE:	120v
COLOR TEMP:	3000,0000k
LUMENS:	1200
CRI:	96
INCANDESCENT EQUIVALENCY:	2-50w
DIMMABLE:	Yes, on any Incandescent, MLV, ELV, or C-L dimmer.

SHIPPING	
CARTON LENGTH:	8.5"
CARTON WIDTH:	9"
CARTON HEIGHT:	10"
CARTON WEIGHT:	4.5 lbs.

**PRODUCT DETAILS:**

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC, Meets United States IUL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Meets California Energy Commission 2016 Title regulations/JA8
- This fixture will cast light up and down.
- 2 year finish warranty
- LED components carry a 5-year limited warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- Striking black finish enhances design

**HINKLEY**

**HINKLEY**  
33000 Pin Oak Parkway  
Avon Lake, OH 44012

**PHONE: (440) 653-5500**  
Toll Free: 1 (800) 446-5539

[hinkley.com](http://hinkley.com)

## Figone ADU & Garage

32 Moana Circle  
Tahoma CA 96142  
Placer County APN 098-191-018

Vicki Figone  
35 Creekvie Circle  
Larkspur CA 94939  
415 377 8817  
vickifigone@hotmail.com

#### REVISIONS

PERMIT NUMBER	
JOB NUMBER	1521.2
FILE NUMBER	1521.2_A3X
ISSUE DATE	21 January 2023
SUBJECT	HOA Review #3
SCALE	1/4" = 1'-0 UNO

#### TITLE

## BUILDING MATERIALS & FINISHES

# A3.2

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stamp

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project number 2022.062

drawn by - checked by -

ISSUES & REVISIONS

no.	description	date
A	INTFPD LAR	2023.03.23
1	TRPA Submittal	2023.06.05

project location

New Garage & ADU for:

Vicki Figone  
32 Moana Circle  
Tahoma California  
Placer County 098-191-018

description

**TRPA Scenic  
Elevation**

sheet

**A3.3**

FIGONE RESIDENCE - EXISTING HOUSE

	TRESTLE- WOOD 1x6 T&G SIDING	SAN SUGI BAN 1x4 T&G SIDING	METAL ROOF	FASCIA & TRIM	METAL PANELS	DECK & RAILING POSTS	(E) TOP RAIL	WINDOW FRAMES	WINDOW GLAZING	Lakefront Façade
Area SF	102.0	111.0	376.0	84.0	282.0	97.5	7.0	49.0	293.0	1402
Percentage	7.3%	7.9%	26.8%	6.0%	20.1%	7.0%	0.5%	3.5%	20.9%	100%
Color and Reflectance Rating <sup>1</sup>	9	17	17	17	17	17	15	17	3	
Munsell Color for surface and Reflectance for glass	10YR - 5/2	10YR - 2/1	GLEY 1 2.5/1	GLEY 1 2.5/1	GLEY 1 2.5/1	GLEY 1 2.5/N	7.5YR - 4/6	GLEY 1 2.5/1	>11-13	
Percentage	0.7	1.3	4.6	1.0	3.4	1.2	0.1	0.6	0.6	13.5
Surface Plane/ Texture Score <sup>2</sup>	8	8	6	6	6	6	6	6	5	
Texture:	heavy	heavy	minimal	minimal	minimal	minimal	minimal	minimal	no texture	
# of Planes: 6	0.6	0.6	1.6	0.4	1.2	0.4	0.0	0.2	1.0	6.0
Percent of Perimeter Visible:	45%									Perimeter Score <sup>3</sup>
CONTRAST RATING										26

FIGONE RESIDENCE - PROPOSED GARAGE

	TRESTLE- WOOD 1x6 T&G SIDING	SAN SUGI BAN 1x4 T&G SIDING	METAL ROOF	FASCIA & TRIM	WINDOW GLAZING	DECK RAIL & STRUCTURE	Lakefront Façade
Area SF	450.0	5.0	48.0	80.0	88.0	35.0	706
Percentage	63.7%	0.7%	6.8%	11.3%	12.5%	5.0%	100%
Color and Reflectance Rating <sup>1</sup>	9	17	17	17	3	17	
Munsell Color for surface and Reflectance for glass	10YR - 5/2	10YR - 2/1	GLEY 1 2.5/1	GLEY 1 2.5/1	>11-13	GLEY 1 2.5/1	
Percentage	5.7	0.1	1.2	1.9	0.4	0.9	10.2
Surface Plane/ Texture Score <sup>2</sup>	7	7	5	5	4	5	
Texture:	heavy	heavy	minimal	minimal	no texture	minimal	
# of Planes: 5	4.5	0.0	0.3	0.6	0.5	0.3	6.2
Percent of Perimeter Visible:	50%						Perimeter Score <sup>3</sup>
CONTRAST RATING							22

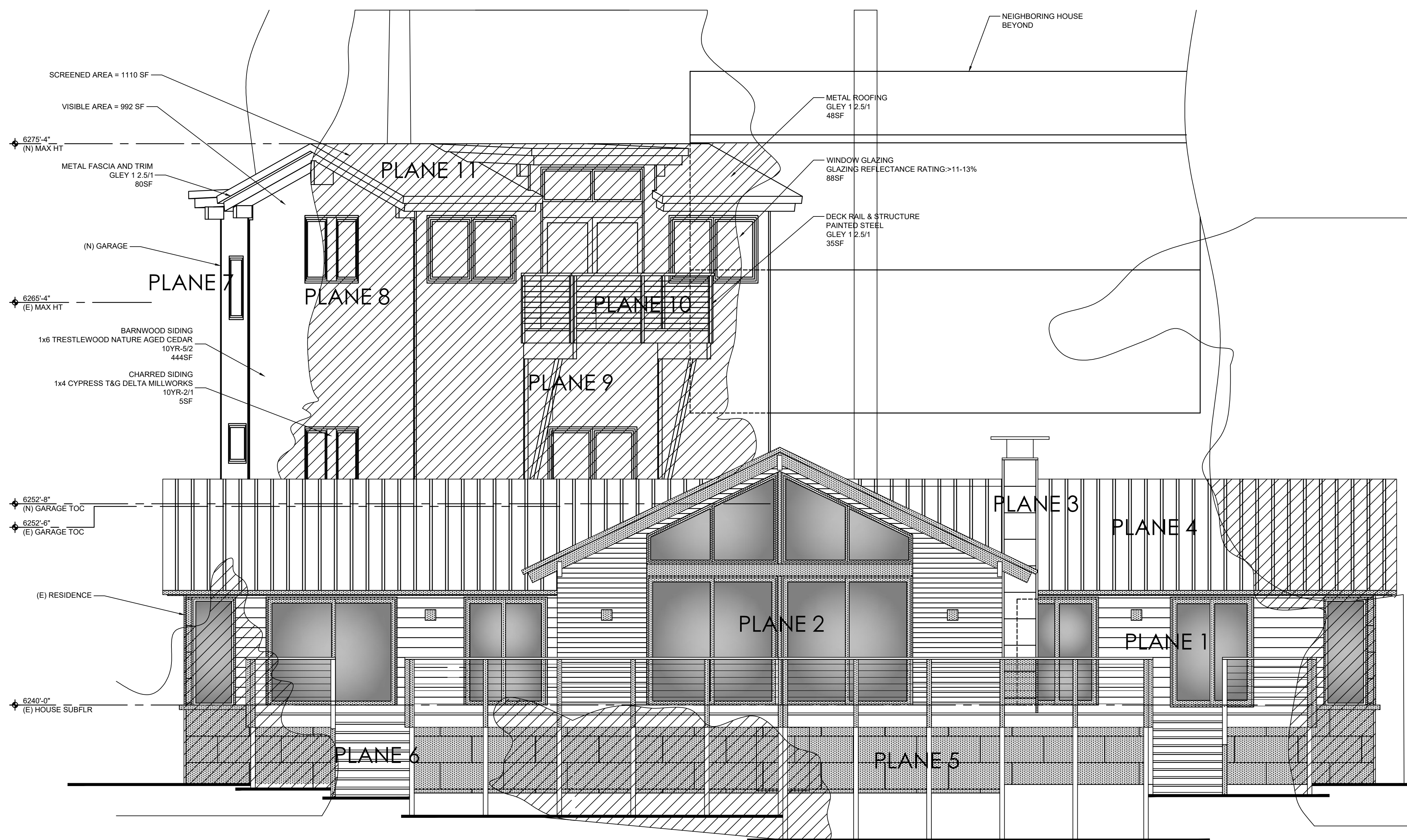
COMPOSITE SCORE

	Proposed Residence	Proposed Garage	Total Lakefront Façade
Area SF	1402	706	2108
Percentage	67%	33%	
CONTRAST RATING	26	22	24.7
	17.4	7.3	25

	Proposed house	Proposed Garage	TOTAL VISIBLE AREA
LAKEFRONT FAÇADE: SCREENED AREA:	1402 400	706 550	
VISIBLE AREA:	1002	156	1158 SF
VISIBLE S.F. ALLOWED	1190		
L.F. of Shoreline > 100'	0		
Possible Allowed Vis. S.F.	1190		

SCENIC GENERAL NOTES:

- THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT WAS EVALUATED AS A PROJECT AREA TO INCLUDE APN: 098-191-018
- THE PROJECT COMPLIES WITH LEVEL 4 OF THE VISUAL MAGNITUDE SYSTEM (SECTION 66.3.3) OF THE TRPA CODE OF ORDINANCES.
- THE TOTAL SQUARE FEET OF VISIBLE AREA ALLOWED FOR THIS PROJECT PER CODE IS 1,190SF. THE PROPOSED TOTAL VISIBLE AREA FOR THIS PROJECT IS 1,158SF.
- COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBTLED COLORS IN THE EARTH TONE AND WOOD TONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. EARTH TONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.
- ROOFS: ROOF SHALL BE COMPOSED OF NON-GLARE EARTH TONE OR WOOD TONE MATERIALS THAT MINIMIZE REFLECTIVITY.
- FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.



NORTH ELEVATION - LAKEFRONT FAÇADE

SCALE: 1/4" = 1'-0"



