From: Brandy McMahon <br/> bmcmahon@trpa.gov>

**Sent:** 5/3/2024 2:25:39 PM

To: Graham St. Michel <gstmichel@trpa.gov>
Subject: FW: TRPA Case ERSP2023-0701

Attachments: image001.jpg , 32 Moana Cir - Findings 2024.01.10.pdf , 32 Moana Circle - revised TRPA Plan Set 2024.01.10.pdf

FYI

Brandy McMahon, AICP
Principal Planner
Permitting & Compliance Department
(775) 589-5274
bmcmahon@trpa.gov



trpa.gov|facebook|twitter|instagram

Parcel and permit information can be found at LTInfo.org.

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From: Sevilla Santana <sevilla@evolvedesignworks.com>

Sent: Wednesday, January 10, 2024 11:29 AM

To: Brandy McMahon <br/>bmcmahon@trpa.gov>
Cc: Hanni Walsh <hanni@evolvedesignworks.com>

Subject: Re: TRPA Case ERSP2023-0701

Hi Brandy,

- 1. I have revised sheet A3.3 with the correct APN.
- 2. The BMP plan for the entire site is shown on page C1.1.
- 3. I recalculated the slope of the driveway the 12.5% slope calculation was incorrect. I have recalculated the slope of the driveway to be 10% based on the proposed driveway. I have addressed the finding and included it in this email.
- 4. I have confirmed the tree was removed and revised the scenic assessment accordingly. See sheet A3.3.

I have attached the revised TRPA Set, and findings.

#### Sevilla Santana

Staff Engineer sevilla@evolvedesignworks.com 530.807.7578

PO Box 7586 3080 N. Lake Blvd. Suite A Tahoe City, CA 96145

On Tue, Jan 9, 2024 at 8:32 AM Brandy McMahon < bmcmahon@trpa.gov > wrote:

Dear Sevilla,

I reviewed the revised plans and have the following comments/questions:

1. The note on A3.3 that reads "THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT WAS EVALUATED AS A PROJECT AREA TO INCLUDE APN: 094-191-018" needs to be revised to reference APN: 098-191-018 (the subject site). I will condition this change be made in the permit.

- 2. I still need a BMP plan for the entire site, not just the proposed ADU/garage.
- 3. A driveway with a 12.5% slope is proposed. Please address the attached finding and email me a copy.
- 4. In one of the public comment letters, it says "the photos for the scenic assessment are from 2021. The landscape has changed a bit, including the removal of a large tree in front of the main house, which could perhaps affect the scenic assessment." TRPA approved a tree removal permit (ref. TREE2022-0984). Please confirm that the tree that was removed is not included in the scenic assessment.

I will move forward with issuing the conditional permit once the above items have been addressed.

Sincerely,

Brandy McMahon, AICP Local Government Coordinator Permitting & Compliance Department (775) 589-5274 bmcmahon@trpa.gov



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From: Sevilla Santana < sevilla@evolvedesignworks.com>

Sent: Tuesday, January 2, 2024 3:41 PM
To: Brandy McMahon < bmcmahon@trpa.gov Subject: Re: TRPA Case ERSP2023-0701

Hi Brandy,

I am following up on this email. Any update with the status of the TRPA permit for 32 Moana Circle.

Let me know if you have any questions.

Thanks,

#### Sevilla Santana

Staff Engineer sevilla@evolvedesignworks.com 530.807.7578

PO Box 7586 3080 N. Lake Blvd. Suite A Tahoe City, CA 96145

On Mon, Dec 11, 2023 at 2:47 PM Sevilla Santana < sevilla@evolvedesignworks.com > wrote:

Hi Brandy,

I know this is delayed, but I am following up with the project at 32 Moana Circle. The attached files address your questions/comments sent to Hanni 8/29.

Let me know if you have any questions.

Thanks!

#### Sevilla Santana

Staff Engineer sevilla@evolvedesignworks.com 530.807.7578

PO Box 7586 3080 N. Lake Blvd. Suite A Tahoe City, CA 96145



Hanni Walsh, PE
VP | Principal Designer
530.318.0001
hanni@evolvedesignworks.com
PROJECT NO. 2022.062

January 10, 2024

Tahoe Regional Planning Agency P.O. Box 5310 Stateline, NV 89449

Re: Figone Garage & ADU APN: 098-191-018 32 Moana Circle Tahoma, California 96142 Placer County

#### **Applicable Findings**

#### Findings Necessary to Approve Any Project

4.4.1.A-C Finding Rationale: The proposed single-family residential project is consistent with the TRPA Goals and Policies and the TRPA Code of Ordinances. The rebuilt single-family residence will not impact environmental threshold carrying capacities. Temporary and permanent BMP's are proposed and shown on the proposed site plan.

#### Permissible Uses

21.2.2.A-C

Finding Rationale: The proposed single-family residential project is consistent with residential zoning designation. This project will not be injurious or disturbing to the welfare of persons or property in the neighborhood or region. Through implementation of BMPs, LID, and green building principles there should be no impact to the resources on the property or surrounding area. Temporary and permanent BMP's are proposed in conjunction with this project as shown on the civil plan set and will protect water and air quality. Due to the mountain architecture style of the residence and associated landscaping the project fits in with the character of the neighborhood and the greater Tahoe region.

#### Land Coverage

30.4.1

Finding Rationale: A site assessment was completed September 20, 2019 by TRPA – LCAP2019-0214. The TRPA identified that the total verified existing coverage on the parcel is 1,735 SF of class 1a area, 348 SF of 1b area, and 3,043 SF of Class 5 area, with a total of 5,022 SF. The project proposes 4,994 SF of coverage, which is less than the allowable 5,022 SF of coverage.

#### 33.3.1 <u>Grading Standards – Seasonal Limitations</u>

Finding Rationale – All grading will be done between May 1st and October 15th.

#### 33.3.6 Excavation Limitations – Groundwater Interception

Finding Rationale – The proposed project does not interfere or intercept ground water. The proposed excavations and foundations are required to comply with local building codes for minimum depth below natural grade.



Hanni Walsh, PE VP | Principal Designer 530.318.0001 hanni@evolvedesignworks.com PROJECT NO. 2022.062

#### 34.3.1 Driveways

Finding Rationale – The proposed driveway was approved for fire safe access by the North Tahoe Fire Protection District and conforms to the general standards for driveways in the Tahoe Basin and Placer County. The proposed complies with Section 34.3.1 and has two parking spots available.

#### 34.3.2. E. Slope of Driveways

Finding rationale – The slope of the proposed driveway is 10%. The proposed slope complies with section 34.3.2.

#### 37.4.1 Height Standards for Buildings

Finding Rationale – The maximum allowable height is 32'-1", citing a 3:12 roof pitch and 18% slope across the building footprint. The proposed maximum height is 30'-4". The proposed project is in compliance with the height standards set forth by Section 37.4.

#### 37.5.1. Approval of Building Heights Greater Than 26

A. Additional Height for Roof Pitch of Up to 5:12

Finding Rationale – The proposed maximum building height is 30-4", citing a 3:12 roof pitch. When viewed from major arterials, scenic turnouts, public recreation areas, or the waters of Lake Tahoe, from a distance of 300 feet, the additional height does not cause the proposed building to extend above the forest canopy, or a ridgeline. The proposed project is in compliance with the height standards set forth by Section 37.5.1.A and 37.7.1.

#### 60.4.6. BMP Infiltration Requirements

Finding Rationale - Permanent BMPs proposed with this project include drip line trenches, drip line armoring, and dry wells. The infiltration facilities are designed to accommodate a twenty year, one-hour storm. Temporary construction BMPs include soil protection/erosion prevention(silt fence and fiber rolls) and tree protection. These measures are in conformance with the current TRPA Handbook of Best Management Practices.

#### 61.1.6.c Minimum Standards for Tree Removal

Finding Rationale - The proposed trees to be removed comply with the minimum standards of tree removal and the removal methods outlined in Table 61.1.6-4.

#### 66.3.3.E.2 <u>Scenic Quality Review in the Shoreland</u>

Finding Rationale: The proposed project complies with Level 4 Scenic Review. A comprehensive assessment of the parcel was prepared which resulted in the cumulative contrast rating of 24. The subject project proposes 992 square feet of total visible lakefront façade. This is within the maximum allowable visible area of 1,035 square feet based on the composite contrast score of 24 points.



Hanni Walsh, PE VP | Principal Designer 530.318.0001 hanni@evolvedesignworks.com PROJECT NO. 2022.062

Please feel free to give me a call if you have any questions or need any additional information.

Sincerely,

Hanni Walsh

HaniNalth

# Figone ADU & Garage

#### GOVERNING AGENCIES, ORGANIZATIONS, & UTILITIES

PLACER COUNTY BUILDING DEPT.
(TAHOE BUILDING DIVISION OFFICE)
775 N. LAKE BLVD.
P.O. BOX 5036
TAHOE CITY, CA. 96145
PHONE: 530.581.6200
FAX: 530.581.6204

PLACER COUNTY ENVIRONMENTAL HEALTH 775 N. LAKE BLVD., SUITE 203 TAHOE CITY, CA. 96145 PHONE: 530.581.6240 envhealthtahoe@placer.ca.gov

TAHOE CITY PUBLIC UTILITY DISTRICT 221 FAIRWAY DRIVE TAHOE CITY, CA 96145 PHONE: 530.583.3796 http://www.tahoecitypud.com

MEEKS BAY FIRE PROTECTION DISTRICT 8041 EMERALD BAY ROAD MEEKS BAY, CALIFORNIA P.O. BOX 189 TAHOMA, CALIFORNIA 96142 PHONE (530) 525-7548 FAX (530) 525-4502

LIBERTY ENERGY
701 NATIONAL AVE.
P.O. BOX 107
TAHOE VISTA, CA 96148
PHONE: 800.782.2506
http://www.liberty-energy.com/pages/home.php

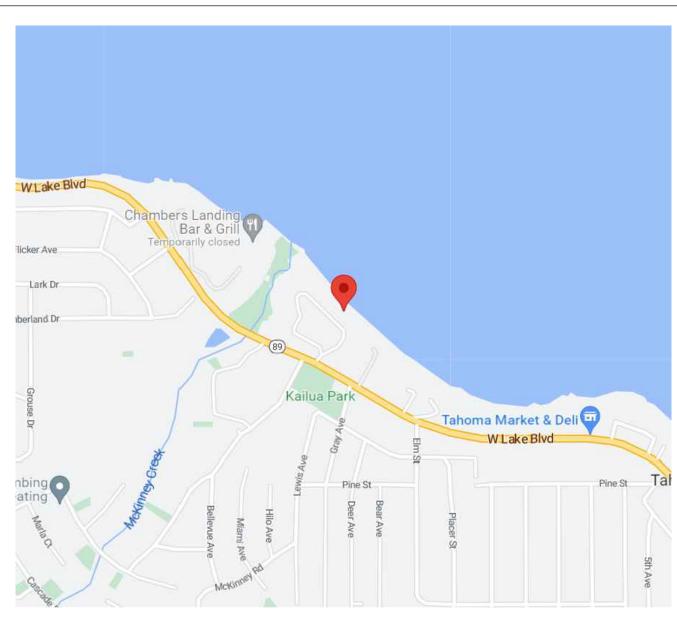
SOUTHWEST GAS CORPORATION
(LOCAL CUSTOMER ASSISTANCE LOCATION)
10682 PIONEER TRAIL
TRUCKEE, CA 96161-0218
PHONE: 877.860.6020
http://www.swgas.com/contactus/nnvcontacts.php

#### PROJECT CONTACT INFORMATION

OWNER
Vicki Figone
35 Creek View Circle
Larkspur, California
415.377.8817
vickifigone@hotmail.com

ENGINEER OF RECORD & DESIGNER
EVOLVE DESIGN WORKS
HANNI WALSH, PE
PO BOX 7586
TAHOE CITY, CA 96145
530.318.0001
hanni@evolvedesignworks.com

#### VICINITY MAP / PROJECT LOCATION



#### APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE (2022 CBC)
2022 CALIFORNIA ELECTRICAL CODE (2022 CEC)
2022 CA ENERGY CODE
2022 CALIFORNIA MECHANICAL CODE (2022 CMC)
2022 CALIFORNIA PLUMBING CODE (2022 CPC)
2022 CALIFORNIA RESIDENTIAL CODE (2022 CRC)
2022 CALIFORNIA FIRE CODE (2022 CFC)
NTDFP ORDINANCE 02-2022, MBFPD ORDINANCE 22-01
2022 CALIFORNIA GREEN BUILDING CODE (2022 CALGREEN)
2022 BUILDING ENERGY EFFICIENCY STANDARDS

#### Occupancy:

Type of Construction: Type VB, CBC 602.5

R-3, CBC 310.5

#### SPACE CALCULATIONS

UNCONDITIONED

GARAGE/STORAGE

687 SQ. FT.

DECK

67 SQ.FT.

UPPER STAIR/LANDING

69 SQ. FT.

CONDITIONED

UPPER FLOOR (LIVING)

618 SQ.FT.

#### DEFFERED SUBMITTALS

1. FIRE SPRINKLERS

## PROJECT SCOPE

COVER SHEET

**BUILDING SECTIONS** 

REMOVE (E) GARAGE. NEW GARAGE WITH ADU ABOVE. NEW DRIVEWAY AND PARKING AREA.

0.0

A4.1

#### SHEET INDEX

CIVIL SITE PLAN BMP PLAN BMP DETAILS	A1.2 C1.1 C1.2
ARCHITECTURAL FLOOR PLANS BUILDING ELEVATIONS BUILDING MATERIAL AND FINISHES	A2.1 A3.1 A3.2
TRPA SCENIC ELEVATION	A3.3



PO Box 7586 3080 N. Lake Blvd. Suite 203 Tahoe City, CA 96145 530.412.1328, 530.318.0001 www.evolvedesignworks.com

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proj	ect number		2022.06
drav	wn by -	checked	d by
ISSU	es & revisions		
no.	description		date
Α	NTFPD LAR		2023.03.2
1	TRPA Submittal		2023.06.0
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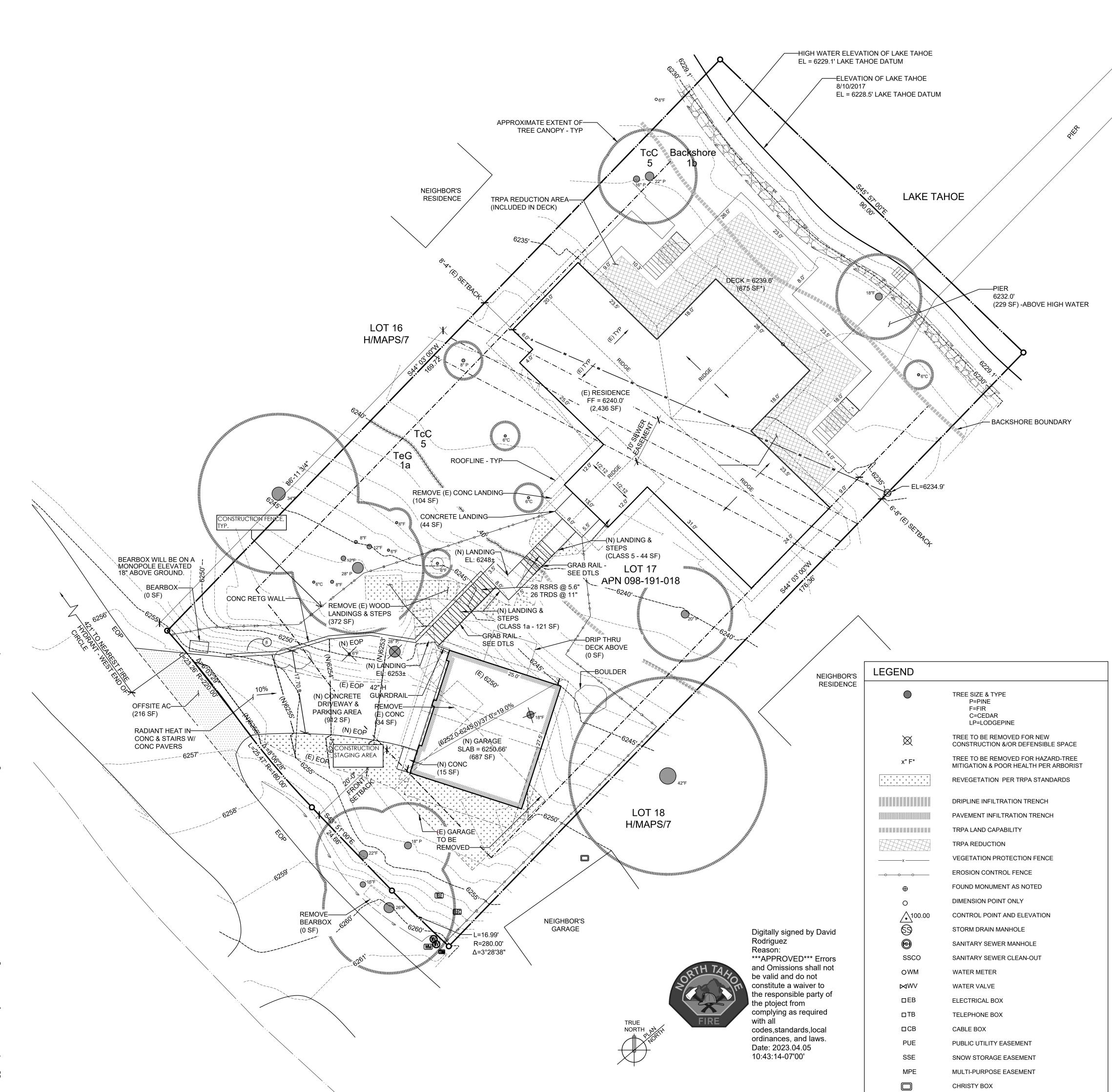
project location

New Garage & ADU for:
Vicki Figone
32 Moana Circle
Tahoma California
Placer County 098-191-018

**Cover Sheet** 

sheet

0.0



TOTAL PARCEL A SITE ASSESSSME LCAP2019-0215(LC	NT: TRPA# LCAP2019-02	14,	= 14,885 SF
CAPABILITY	% ALLOW	AREA	ALLOWED
CLASS 1a	1%	6,172 SF	62 SF
CLASS 1b	1%	1,332 SF	13 SF
CLASS 5	25%	7,381 SF	1,845 SF

SITE ASSESSSMENT: TRPA# LCAP2019-LCAP2019-0215(LCV)	0214,				
ONSITE	CLASS 1a	CLASS 1b	CLASS 5		TOTAL
RESIDENCE	0	0	2,412	=	2,412 SF
DECK & STAIRS W/ TRPA REDUCTION	0	191	<sup>2</sup> 416	=	607 SF
PIER-ABOVE HIGH WATER	0	157	72	=	229 SF
WOOD LANDINGS & STEPS	333	0	39	=	372 SF
GARAGE	516	0	0	=	516 SF
CONCRETE DRIVEWAY	876	0	0	=	876 SF
A/C DRIVEWAY	10	0	0	=	10 SF
TOTAL ONSITE COVERAGE OFF SITE	1,735	348	3,043	=	5,022SF
A/C DRIVEWAY				=	216 SF

ONSITE	CLASS 1a	CLASS 1b	CLASS 5		TOTAL
RESIDENCE	0	0	2,412	=	2,412 S
RESIDENCE ADDITION	0	0	24	=	24 8
DECK & STAIRS W/ TRPA REDUCTION	0	88	787	=	875 S
PIER-ABOVE HIGH WATER	0	157	72	=	229 5
WOOD LANDINGS & STEPS	333	0	49	=	382 5
CONC LANDING	0	0	44	=	44 9
GARAGE	516	0	0	=	516 8
CONCRETE DRIVEWAY	876	0	0	=	876 \$
A/C DRIVEWAY	10	0	0	=	10 \$
TOTAL ONSITE COVERAGE	1,735	245	3,388	=	5,368
* PERVIOUS DECK REDUCTION FOR CL		9 SF MAX)			.000
FIRST 500 SF(*100%)	0	0	369	<u> </u>	<369 S
TOTAL ADJUSTED ONSITE COVERAGE	1,735	245	3,019	=	4,999 9
OFF SITE					
A/C DRIVEWAY				=	216

ONSITE	CLASS 1a	CLASS 1b	CLASS 5		TOTAL
RESIDENCE	0	0	2,412	=	2,412 SF
RESIDENCE ADDITION	0	0	24	=	24 SF
DECK & STAIRS W/ TRPA REDUCTION	0	88	787	=	875 SF
PIER-ABOVE HIGH WATER	0	157	72	=	229 SF
(N) WOOD LANDINGS & STEPS	121	0	44	=	165 SF
CONC LANDING	0	0	44	=	44 SF
(N) CONC STOOP	15	0	0	=	15 SF
(N) GARAGE	687	0	0	=	687 SF
(N) CONCRETE DRIVEWAY	912	0	0	=	912 SF
TOTAL ONSITE COVERAGE	1,735	245	3,383	=	5,363 SF
* PERVIOUS DECK REDUCTION FOR CL FIRST 500 SF(*100%)	.ASS 5 LOT (36) 0	0 SF MAX)	369	=	<369 SF
TOTAL ADJUSTED ONSITE COVERAGE	1,735	245	3,014	=	4,994 SF
OFF SITE					
				=	216 SF
A/C DRIVEWAY					

#### SURVEYOR NOTES

- SURVEY PERFORMED BY TERRAGRAPHIC LAND SURVEYING, INC,; DATED 08/10/2017; JOB NUMBER 17085.
- 2. CONTOUR INTERVAL EQUALS 1'.
- 3. THE ELEVATION DATUM FOR THIS SURVEY WAS ASSUMED. ELEVATION = 6234.9'
- BENCHMARK = TOP OF SANITARY SEWER MANHOLE RIM.
- SPOT ELEVATIONS ARE ACCURATE TO 0.2'±
- SCALED FEATURE LOCATIONS ARE ACCURATE TO 0.5'±
- EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND USE REGULATIONS; AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- 6. LEGEND IS GENERAL. SOME SYMBOLS MAY NOT BE APPLICABLE TO THIS SURVEY MAP.

#### FIRE SEVERITY ZONE

STATE RESPONSIBILITY AREA VERY HIGH FIRE HAZARD SEVERITY ZONE

## **TGM** \ \ RCHITECT

TODD GORDON MATHER

PO Box 7675 Tahoe City CA 96145

530 414 4662 TGMarchitect.com

# Figone ADU & Garage

32 Moana Circle Tahoma CA 96142 Placer County APN 098-191-018

Vicki Figone 35 Creekview Circle Larkspur CA 94939 415 377 8817 vickifigone@hotmail.com

REVISIONS

PERMIT NUMBER JOB NUMBER

FILE NUMBER 1521.2\_A1X ISSUE DATE 21 January 2023 SUBJECT HOA Review #3 1"=10'-0" UNO SCALE

1521.2

TITLE

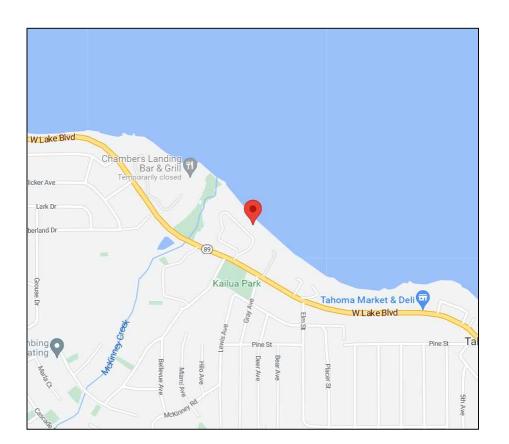
SITE PLAN

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#### TRPA NOTES

- 1. ALL COVERAGE REMOVED AND AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA <u>HANDBOOK OF BEST</u> <u>MANAGEMENT PRACTICES</u> AND <u>LIVING WITH FIRE</u>, LAKE TAHOE BASIN,
- 2. DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
- 3. A 3" LAYER OF 3/4" CRUSHED GRAVEL SHALL BE PLACED BENEATH ALL RAISED
- 4. SEE SHEET C1.2 FOR TRPA BMP DETAILS
- 5. STRAW BALES ARE NO LONGER ACCEPTABLE FOR TEMPORARY EROSION CONTROL OR MULCH MATERIAL IN THE LAKE TAHOE BASIN. THE USE OF STRAW HAS CONTRIBUTED TO THE SPREAD OF NOXIOUS WEEDS THROUGHOUT THE BASIN. THE USE OF ALTERNATIVES TO STRAW BALES, SUCH AS PINE NEEDLE BALES, FILTER FABRIC, COIR LOGS AND PINE NEEDLE OR WOOD MULCHES FOR EROSION CONTROL PURPOSES IS REQUIRED.
- 6. ALL AREAS OF REMOVED COVERAGE AND AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH TRPA'S BMP HANDBOOK & 'LIVING WITH FIRE' TAHOE BASIN, LATEST EDITION.
- 7. EXCAVATIONS AND CUTS GREATER THAN 5 FEET DEEP NOT PERMITTED TRPA SOILS/HYDROLOGY APPROVAL IS REQUIRED.

#### VICINITY MAP (N.T.S.)



#### BMP CALCULATIONS

ROOF	DRIVE	HOUSE ROOF	HOUSE ROOF	HOUSE ROOF
2	0	2	2	2
434	900	588	171	72
434	900	588	171	72
36.2	75.0	49.0	14.3	6.0
1.0	2.0	3.0	4.0	5.0
30.0	13.0	30.0	12.0	6.5
24	60	24	24	24
10	24	12	10	16
4.0	4.0	4.0	4.0	4.0
40%	40%	40%	40%	
1.9	4.8	2.2	0.7	0.3
45.4	79.2	50.5	18.1	6.2
1.9	4.8	2.2	0.7	0.6
0.0	0.0	0.0	0.0	0.0
9.2	4.2	1.5	3.9	0.2





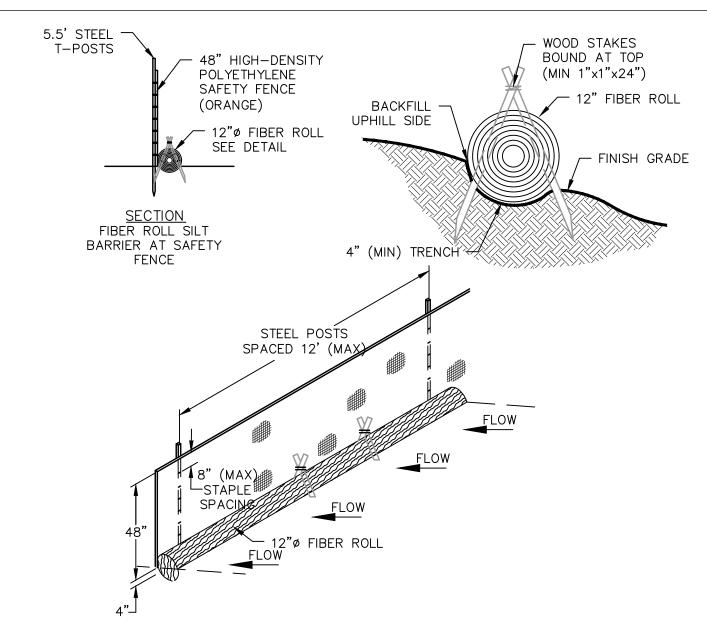
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proje	ect number		2022.062
drav	vn by	checked	by
ISSUI	ES & REVISIONS		
no.	description		date
1	TRPA Submittal		2023.06.05
-	-		

project location

**BMP Plan** 



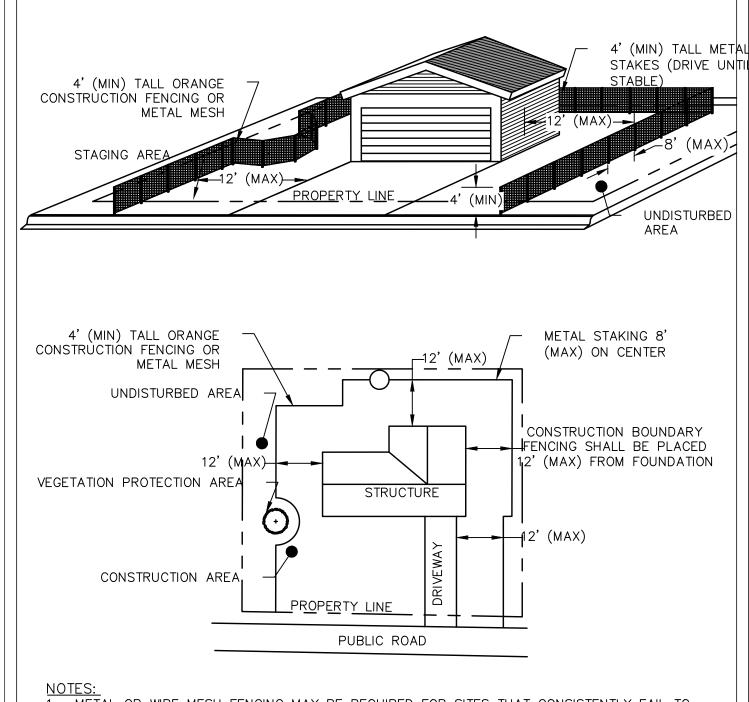
- NOTES:

  1. FIBER ROLL SHALL NOT BE MADE FROM STRAW. FIBER ROLLS SHALL BE BOUND BY HIGH STRENGTH
- COIR NETTING, AND HAVE A MINIMUM WEIGHT OF 5 LBS PER LINEAL FOOT. 2. ORANGE SAFETY FENCE IS INTENDED TO PROTECT FIBER ROLLS FROM COMPRESSION BY VEHICLES, CONSTRUCTION EQUIPMENT, EXT. FENCES SHALL BE HIGH DENSITY POLYETHYLENE WITH A MESH OPENING OF APPROXIMATELY 1 INCH BY 4 INCHES AND A MINIMUM HEIGHT OF 4 FEET. SAFETY FENCE MAY BE OMITTED IN LOW TRAFFIC AREAS.
- . FIBER ROLL SILT BARRIER SHALL BE INSTALLED ALONG CONTOUR AND ON SLOPES 5H:1V OR FLATTER UNLESS OTHERWISE APPROVED BY TRPA. 4. THE INSTALLATION CONFIGURATION SHALL PREVENT RUNOFF FROM LEAVING THE SITE OR ENTERING
- A WATERCOURSE WITHOUT PASSING THROUGH A SILT BARRIER. 5. THE MAXIMUM LENGTH OF SLOPE DRAINING TO THE SILT BARRIER SHALL BE 100 FEET. 6. FIBER ROLL SHALL BE INSTALLED BY SHAPING A 4 INCH DEEP FURROW TO MATCH THE SHAPE OF THE LOG, SECURING IN FURROW WITH WOOD STAKES, AND TAMPING THE GROUND AROUND THE FIBER ROLL TO FILL VOIDS BETWEEN THE LOG AND THE GROUND.

FIBER ROLL SILT BARRIER

DECK (MIN)

TRPA BMP-517

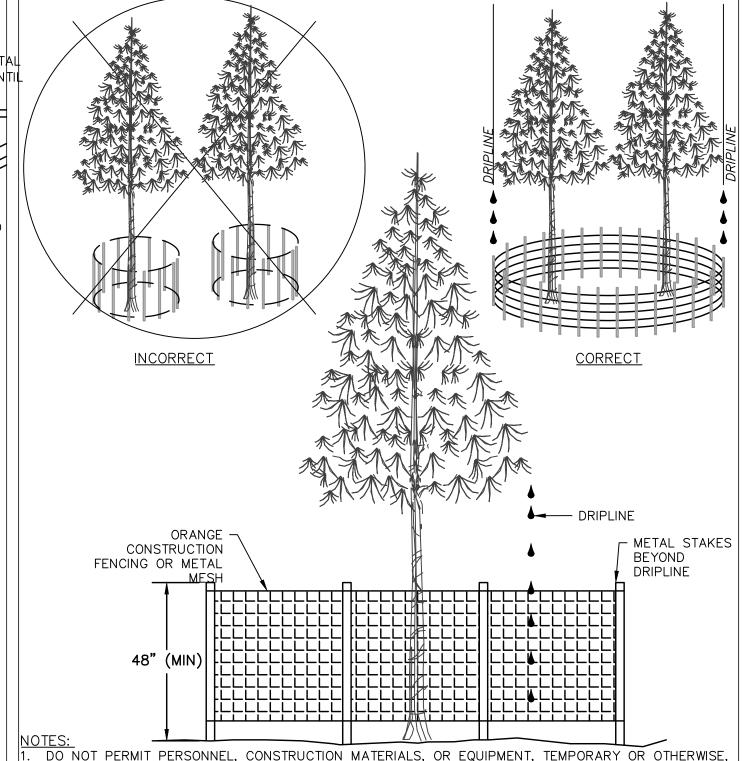


METAL OR WIRE MESH FENCING MAY BE REQUIRED FOR SITES THAT CONSISTENTLY FAIL TO MAINTAIN PERMITTED FENCING REQUIREMENTS.

2. INSPECTIONS SHALL BE MADE DAILY AND DOWNED SECTIONS REPAIRED IMMEDIATELY. 3. ALL DISTURBED SOIL WITHIN THE CONSTRUCTION AREA MUST BE DE-COMPACTED AND RESTORED. PLANT WITH NATIVE AND/OR ADAPTED PLANTS POST-CONSTRUCTION.

TEMPORARY BOUNDARY CONSTRUCTION FENCING

TRPA BMP-501

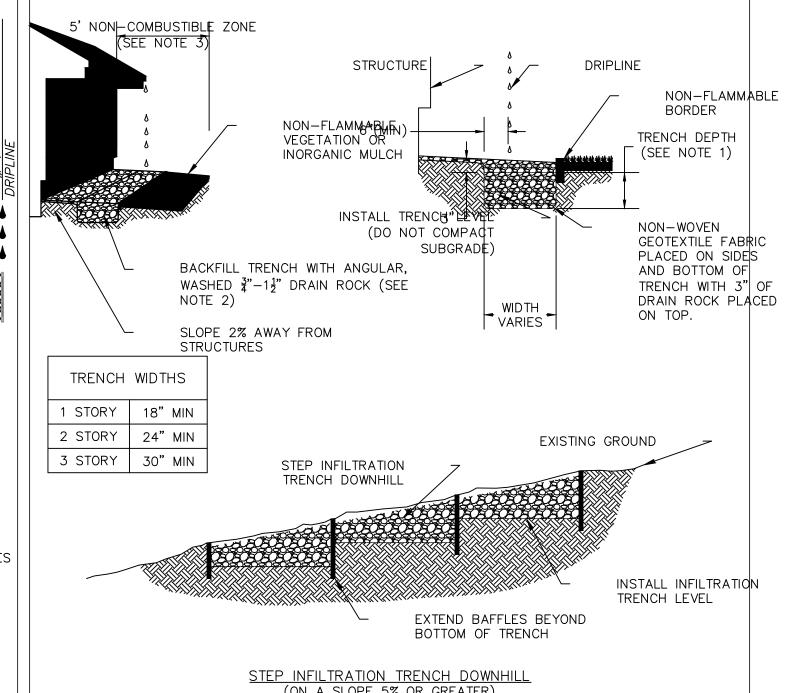


WITHIN PROTECTIVE FENCING. VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PROJECT APPROVAL.

METAL OR WIRE MESH FENCING MAY BE REQUIRED. CALCULATE THE PROTECTIVE PERIMETER FOR SHIELDING LARGER SPECIMEN TREES MEASURING OVER 30" DBH AS FOLLOWS: COMPUTE THE PROTECTIVE RADIUS BY ADDING ONE FOOT, AS MEASURED OUT FROM THE TREE BOLE, FOR EVERY INCH IN DBH. (E.G. A TREE WITH A 30" DBH WOULD RECEIVE A 30' PROTECTIVE PERIMETER)

**VEGETATION PROTECTION** 

TRPA BMP-507



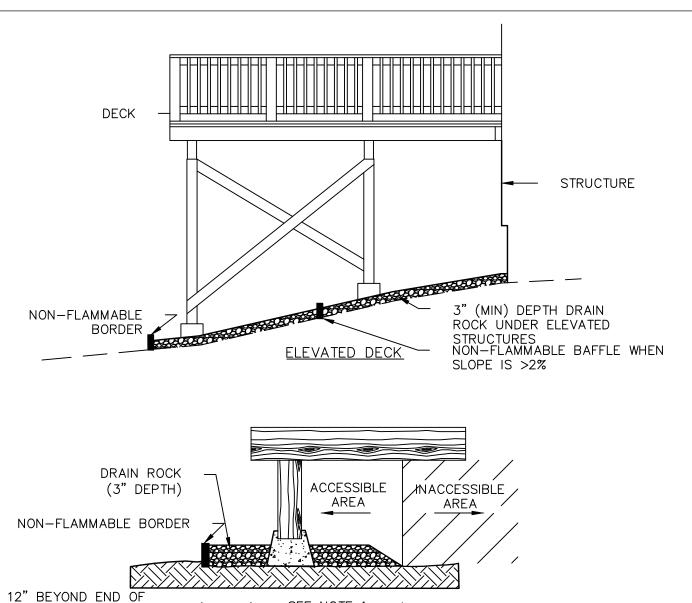
(ON A SLOPE 5% OR GREATER)

1. LENGTH, WIDTH, AND DEPTH OF INFILTRATION TRENCHES SHALL BE DESIGNED TO STORE THE 20-YEAR 1-HOUR STORM EVENT. THE BMP CALCULATION SPREADSHEET AVAILABLE AT

WWW.TAHOEBMP.ORG MAY BE USED TO SIZE INFILTRATION TRENCHES. PROPRIETARY PRODUCTS MAY BE USED TO PROVIDE ADDITIONAL STORAGE CAPACITY RELATIVE TO DRAIN ROCK. INSTALL PER MANUFACTURER'S SPECIFICATIONS.

FIRE DEFENSIBLE SPACE GUIDELINES FOR LAKE TAHOE RECOMMEND A 5' NON-COMBUSTIBLE ZONE AROUND THE BUILDING PERIMETER. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO

INFILTRATION TRENCH TRPA BMP-103



NOTES:

1. FOR THE RETROFIT OF EXISTING DECKS, DRAIN ROCK SHOULD BE INSTALLED AS FAR BACK UNDER THE THE LOW ELEVATED STRUCTURE AS POSSIBLE. DISTANCE DEPENDS ON ACCESSIBILITY UNDER THE STRUCTURE.

2. USE WASHED, CLEAN 3/4" TO 1-1/2" DRAIN ROCK. NATIVE ROCK MAY BE SUBSTITUTED IF

LOW DECK

AVAILABLE. 3. FOLLOW FIRE DEFENSIBLE SPACE GUIDELINES. SEE "LIVING WITH FIRE" AT WWW.LIVINGWITHFIRE.INFO.

ROCK ARMOR ELEVATED STRUCTURE TRPA BMP-211

ROCK-ARMORED CATCHMENT CONVEYANCE SYSTEM BURIED PERFORATED DRAIN PIPE POP UP EMITTER INFILTRATION FACILITY (HIGHER INFILTRATION RATE SOIL) - INFILTRATION FACILITY INSTALL CLEANOUTS
AT ALL BENDS IN - ESTABLISHED VEGETATION OR COARSE AGGREGATE CLEANOUT DRAIN ROCK - DRAIN ROCK PERFORATED DRAIN PIPE 2% SLOPE (MIN) -PERFORATED DRAIN PIPE — 4" DIA. (MIN)

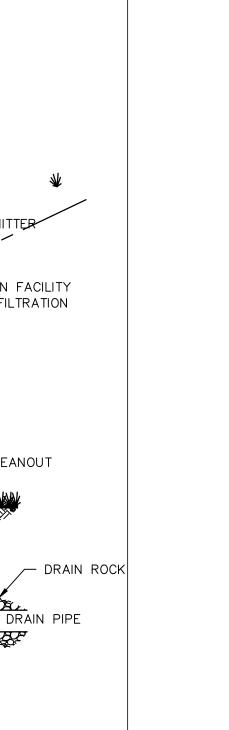
ROCK ARMORED <u>CLEANOUT</u> <u>NOTES:</u> 1. THE TRENCH SHALL BE CONSTRUCTED ON A CONTINUOUS GRADE WITH NO REVERSE GRADES OR LOW SPOTS.

SOILS UNDER THE DRAIN SHALL BE STABILIZED WITH GRAVEL OR OTHER SUITABLE MATERIAL. DRAIN ROCK SHALL BE PLACED AS SPECIFIED WITH AT LEAST 3 INCHES OF ROCK ON ALL

SIDES OF THE PIPE. BACKFILL MATERIAL SHALL BE PLACED IN THE TRENCH IN SUCH A MANNER THAT THE DRAIN

PIPE IS NOT DISPLACED OR DAMAGED.

SUBSURFACE DRAIN TRPA BMP-307



california | nevada washington alaska

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project location

description

**BMP Details** 

#### DEMOLITION NOTES

1] CONDUCT SELECTIVE DEMOLITION AND DEBRIS REMOVAL OPERATIONS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, EXITS AND OTHER ADJACENT OCCUPIED AND USED FACILITIES.

2] OWNER ASSUMES NO RESPONSIBILITY FOR CONDITION OF AREAS TO BE SELECTIVELY REMODELED.

3] IF MATERIALS SUSPECTED OF CONTAINING HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB. IMMEDIATELY NOTIFY ARCHITECT AND OWNER.

PRIOR.

4] STORAGE OR SALE OF REMOVED ITEMS OR MATERIALS ON SITE WILL NOT BE PERMITTED UNLESS AGREED TO WITH THE OWNER

5] MAINTAIN EXISTING UTILITY SERVICES INDICATED TO REMAIN AND PROTECT THEM AGAINST DAMAGE DURING SELECTIVE DEMOLITION OPERATIONS.

6] SURVEY EXISTING CONDITIONS AND CORRELATE WITH REQUIREMENTS INDICATED TO DETERMINE EXTENT OF SELECTIVE DEMOLITION REQUIRED.

7] WHEN ANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS THAT CONFLICT WITH INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, INVESTIGATE AND MEASURE THE NATURE AND INTENT OF CONFLICT. PROMPTLY SUBMIT A WRITTEN REPORT TO ARCHITECT.

8] LOCATE, IDENTIFY, DISCONNECT AND SEAL OR CAP OFF INDICATED UTILITIES SERVING AREAS TO BE SELECTIVELY DEMOLISHED. ARRANGE TO SHUT OFF INDICATED UTILITIES WITH UTILITY COMPANIES. CUT OFF PIPE OR CONDUIT IN WALLS OR PARTITIONS TO BE REMOVED PER UTILITY COMPANY'S STANDARDS.

9] PROTECT EXISTING SITE IMPROVEMENTS, APPURTENANCES AND LANDSCAPING TO REMAIN.

10] PROVIDE TEMPORARY BARRICADES AND OTHER PROTECTION REQUIRED TO PREVENT INJURY TO PEOPLE AND DAMAGE TO ADJACENT BUILDINGS AND FACILITIES TO REMAIN. PROVIDE TEMPORARY WEATHER PROTECTION DURING INTERVAL BETWEEN SELECTIVE DEMOLITION OF EXISTING CONSTRUCTION ON EXTERIOR SURFACES AND NEW CONSTRUCTION TO PREVENT WATER LEAKAGE AND DAMAGE TO STRUCTURE AND INTERIOR AREAS.

11] CLEAN ADJACENT IMPROVEMENTS OF DUST, DIRT AND DEBRIS CAUSED BY SELECTIVE DEMOLITION OPERATIONS. RETURN ADJACENT AREAS TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

12] DEMOLISH AND REMOVE EXISTING CONSTRUCTION ONLY TO THE EXTENT REQUIRED BY NEW CONSTRUCTION AND/ OR AS INDICATED. USE METHODS REQUIRED TO COMPLETE THE WORK WITH LIMITATIONS OF GOVERNING REGULATIONS AND AS FOLLOWS:

a] DISPOSE OF DEMOLISHED ITEMS AND MATERIALS PROMPTLY.

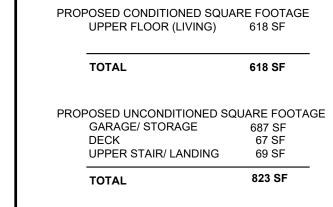
b] RETURN ELEMENTS OF CONSTRUCTION AND SURFACES THAT ARE TO REMAIN TO CONDITION EXISTING BEFORE SELECTIVE DEMOLITION OPERATIONS BEGAN.

13] PROTECT CONDITIONS INDICATED TO REMAIN AGAINST DAMAGE AND SOILING DURING SELECTIVE DEMOLITION. WHEN PERMITTED BY ARCHITECT, ITEMS MAY BE REMOVED TO A SUITABLE, PROTECTED STORAGE LOCATION DURING SELECTIVE DEMOLITION AND CLEANED AND REINSTALLED IN THEIR ORIGINAL LOCATIONS AFTER SELECTIVE DEMOLITION OPERATIONS ARE COMPLETE.

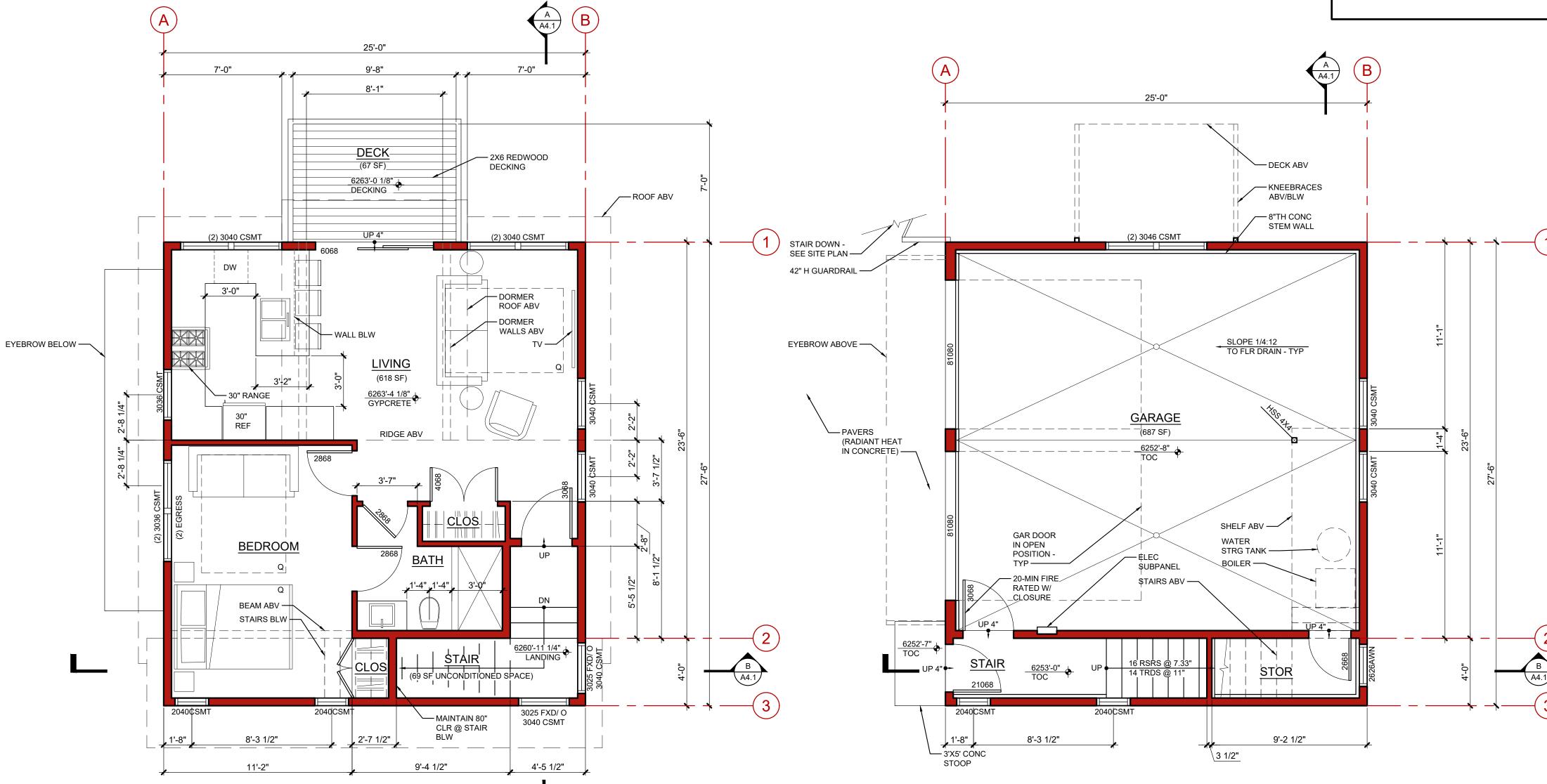
14] PROMPTLY REPAIR DAMAGE TO ADJACENT IMPROVEMENTS CAUSED BY SELECTIVE DEMOLITION OPERATIONS AND NOTIFY OWNER OF INCIDENT[S].

15] TRANSPORT DEMOLISHED MATERIALS OFF OF OWNER'S PROPERTY AND LEGALLY DISPOSE OF THEM.

#### AREA SUMMARY



LOWER - GARAGE



UPPER - ACCESS DWELLING UNIT

#### **GENERAL NOTES**

1] STAIRWAYS SERVING AN OCCUPANT LOAD LESS THAN 50 SHALL SHALL HAVE A WIDTH OF NOT LESS THAN 36 INCHES. CRC SECTION R311.7.11 STAIRWAYS SHALL HAVE A MINIMUM HEADROOM CLEARANCE OF 80 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE EDGE OF THE NOSINGS. SUCH HEADROOM SHALL BE CONTINUOUS ABOVE THE STAIRWAY TO THE POINT WHERE THE LINE INTERSECTS THE LANDING BELOW, ONE TREAD DEPTH BEYOND THE BOTTOM RISER. THE MINIMUM CLEARANCE SHALL BE MAINTAINED THE FULL WIDTH OF THE STAIRWAY. CRC SECTION R311.7.2. WITHIN DWELLING UNITS, THE MAXIMUM RISER HEIGHT SHALL BE 7-3/4"; THE MINIMUM TREAD DEPTH SHALL BE 10 INCHES. CRC SECTIONS R311.7.4.1 AND R311.7.4.2.

2] GUARDRAILS AND HANDRAILS SHALL BE STRUCTURED TO WITHSTAND A 200# LATERAL LOAD

a] HANDRAILS: HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. CRC SECTION R311.7.7.1. HANDRAILS WITH A CIRCULAR CROSS-SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1.25 INCHES AND NOT GREATER THAN 2 INCHES. IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES AND NOT GREATER THAN 6.25 INCHES. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. CRC SECTION R311.7.7.3. HANDRAILS WITHIN DWELLING UNITS ARE PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT A STAIR LANDING. CRC SECTION R311.7.7.2. CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR OTHER SURFACE SHALL BE A MINIMUM OF 1.5 INCHES. CBC SECTION 1012.6. PROJECTIONS INTO THE REQUIRED WIDTH OF STAIRWAYS AT EACH HANDRAIL SHALL NOT EXCEED 4.5 INCHES AT OR BELOW THE HANDRAIL HEIGHT. CBC SECTION 1012.8. PROVIDE CONTINUOUS HANDRAIL FOR STAIRWAY WITH 4 OR MORE RISERS AS PER R311.

b] GUARDRAILS: GUARDS SHALL FORM A PROTECTIVE BARRIER NOT LESS THAN 42 INCHES HIGH, MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD OR ADJACENT WALKING SURFACE. WITHIN DWELLING UNITS, GUARDS WHOSE TOP RAIL ALSO SERVES AS A HANDRAIL SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM THE LEADING EDGE OF THE STAIR TREAD NOSING. CRC SECTION R312.2. OPEN GUARDS SHALL HAVE INTERMEDIATE RAILS SUCH THAT A 4 INCH DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD, AND BOTTOM RAIL AT THE OPEN SIDE OF A STAIRWAY SHALL BE OF A MAXIMUM SIZE SUCH THAT A SPHERE OF 6 INCHES IN DIAMETER CANNOT PASS THROUGH THE OPENING. CRC SECTION R312.3.

3] THE WALLS AND SOFFITS OF THE ENCLOSED SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM WALLBOARD. CRC SECTION R302.7

4] MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALL SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. CRC SECTION AND TABLE R302.6.

5] MINIMUM OPENING PROTECTION FOR DOOR BETWEEN GARAGE AND RESIDENCE SHALL BE THE INSTALLATION OF A SELF-CLOSING TIGHT-FITTING SOLID WOOD DOOR 1-3/8" IN THICKNESS OR A SELF-CLOSING TIGHT-FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. CRC SECTION R302.5.1.

6] PROVIDE ROOF TERMINATIONS FOR GAS APPLIANCES. APPLIANCE SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. SEE FLUE MANUFACTURER'S SPECIFICATIONS FOR FLUE CLEARANCES. VERIFICATION OR APPROVAL OF VENT HEIGHT AND LOCATION WITH AN INSPECTOR PRIOR TO INSTALLATION IS SUGGESTED. ALL GAS FIREPLACES SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE PER CALGREEN - GREEN BUILDING CODE SECTION 4 503

7] THE FOLLOWING SHALL BE CONSIDERED HAZARDOUS LOCATIONS REQUIRING SAFETY GLAZING: GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS; GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A STANDING SURFACE AND DRAIN INLET; GLAZING WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR IN CLOSED POSITION; GLAZING ADJACENT TO STAIRWAYS AND LANDINGS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE; GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTALLY OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD. CRC SECTION R308.4.

a] CONTRACTOR SHALL VERIFY SAFETY GLAZING AT ALL LOCATIONS PER  $\,$  CBC.

b] EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, AND GLAZED OPENINGS WITHIN EXTERIOR DOORS SHALL BE INSULATING-GLASS UNITS WITH A MINIMUM OF ONE TEMPERED PANE. CRC SECTION R337.8.2.

8] SLEEPING ROOMS BELOW THE FOURTH STORY ABOVE GRADE PLANE SHALL HAVE AT LEAST ONE EXTERIOR EMERGENCY ESCAPE AND RESCUE OPENING. CRC SECTION R310.1. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. CRC SECTIONS R310.1.1 THROUGH R310.1.3. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44 INCHES MEASURED FROM THE FLOOR. CRC SECTION R310.1.

9] DECKING, SURFACES, STAIR TREADS, RISERS, AND LANDINGS OF DECKS, PORCHES, AND BALCONIES WHERE ANY PORTION OF SUCH SURFACE IS WITHIN 10 FEET OF THE PRIMARY STRUCTURE SHALL BE CONSTRUCTED WITH HEAVY TIMBER, EXTERIOR FIRE-RETARDANT-TREATED WOOD OR APPROVED NONCOMBUSTIBLE MATERIALS. CRC

10] OPENINGS IN THE BUILDING ENVELOPE SEPARATING CONDITIONED SPACE FROM UNCONDITIONED SPACE NEEDED TO ACCOMMODATE GAS, PLUMBING, ELECTRICAL LINES AND OTHER NECESSARY PENETRATIONS MUST BE SEALED IN COMPLIANCE WITH THE CALIFORNIA ENERGY CODE AND ALSO THE CALIFORNIA RESIDENTIAL CODE CRC R316 WHERE FOAM PLASTIC INSULATION IS PROPOSED FOR COMPLIANCE. EXCEPTION: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE

11] ATTIC ACCESS SHALL BE WEATHER-STRIPPED TO PREVENT AIR LEAKAGE - ATTIC ACCESS SHALL HAVE PERMANENTLY ATTACHED INSULATION USING ADHESIVE OR MECHANICAL FASTENERS

TO THE ENFORCING AGENCY, CALGREEN 4.406.1

12] GARAGE SHALL BE SEPARATED FROM THE DWELLING & ITS ATTIC SPACE BY MEANS OF 1/2" GYP BD APPLIED TO THE GARAGE SIDE OF THE COMMON WALLS & CEILING. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING SPACE ABOVE BY 5/8" TYPE 'X' GYP BD @ THE CEILING. NOT LESS THAN 1/2" GYP BD SHALL BE APPLIED TO STRUCTURES SUPPORTING THE FLOOR/ CLG ASSEMBLY USED FOR SEPARATION.

13] OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. R302.5.1.

14] BEDROOM WINDOWS ARE REQUIRED TO MEET EMERGENCY & ESCAPE & RESCUE OPENING REQUIREMENTS OF 2019 CRC 310. WINDOW CHANGE OUTS ARE EXEMPT FROM SILL HEIGHTS, BUT MUST BE OF A STYLE TO OFFER THE LARGEST SIZE OPENING TO MEET THE MINIMUM OPENING SIZE REQUIRED WITHIN THE EXISTING FRAMED OPENING.

## TGM/RCHITECT

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REVISIONS

PERMIT NUMBER

JOB NUMBER

JOB NUMBER	1521.2
FILE NUMBER	1521.2_A2X
ISSUE DATE	21 January 2023
SUBJECT	HOA Review #3
SCALE	1/4" = 1'-0 UNO

TITLE

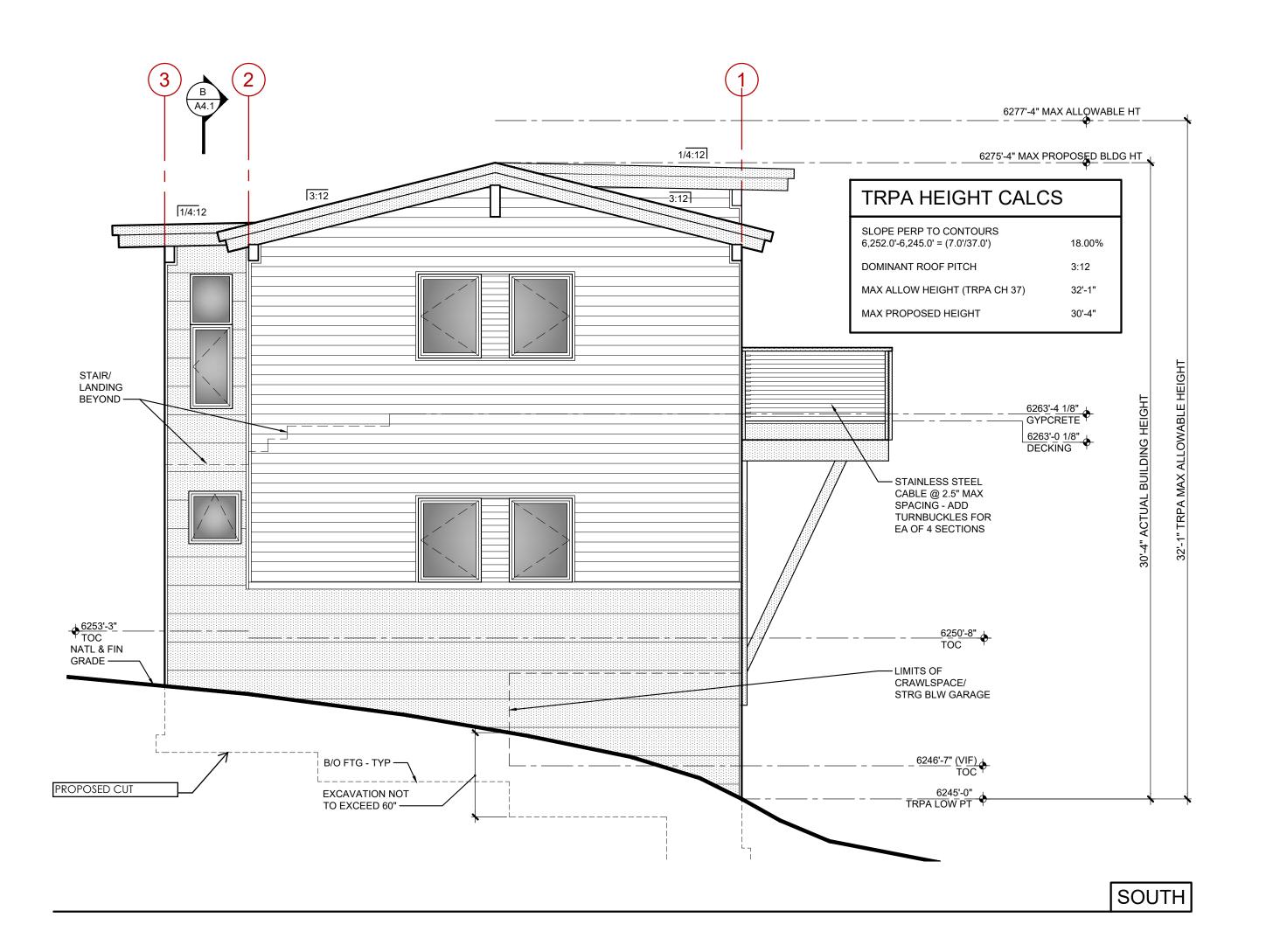
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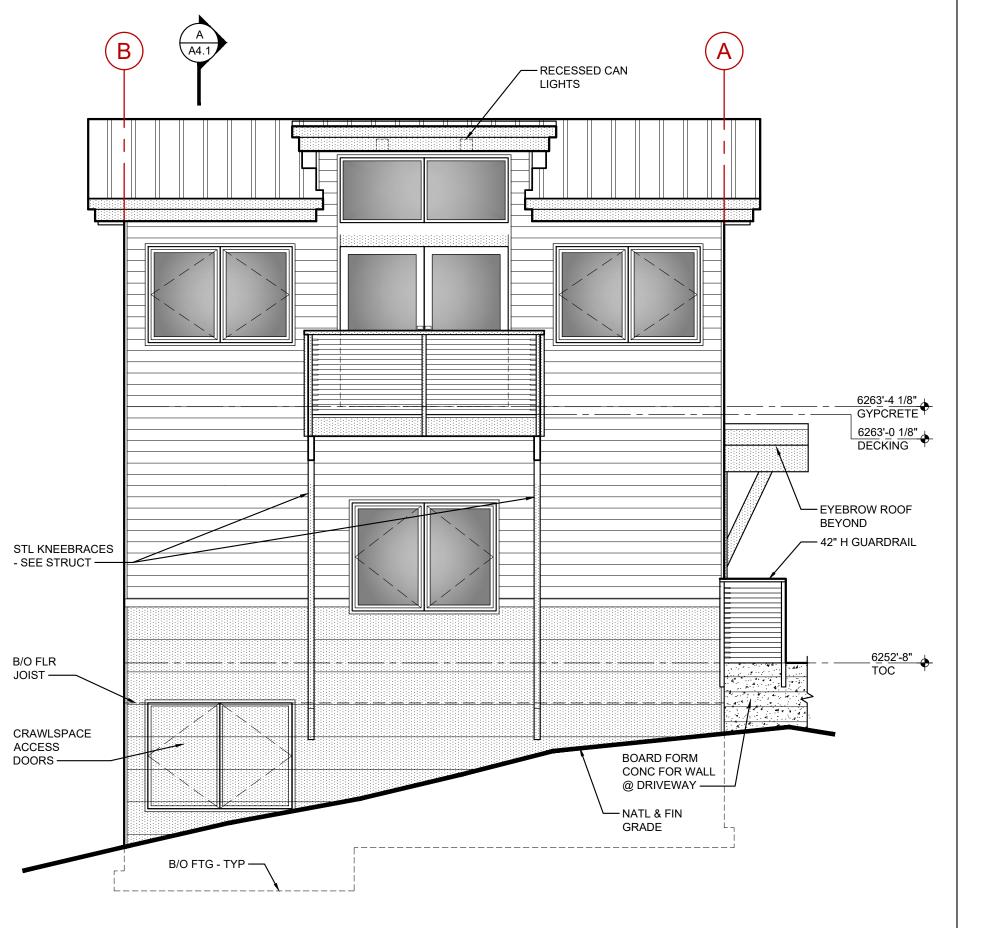
FLOOR PLANS

**A2.1** 

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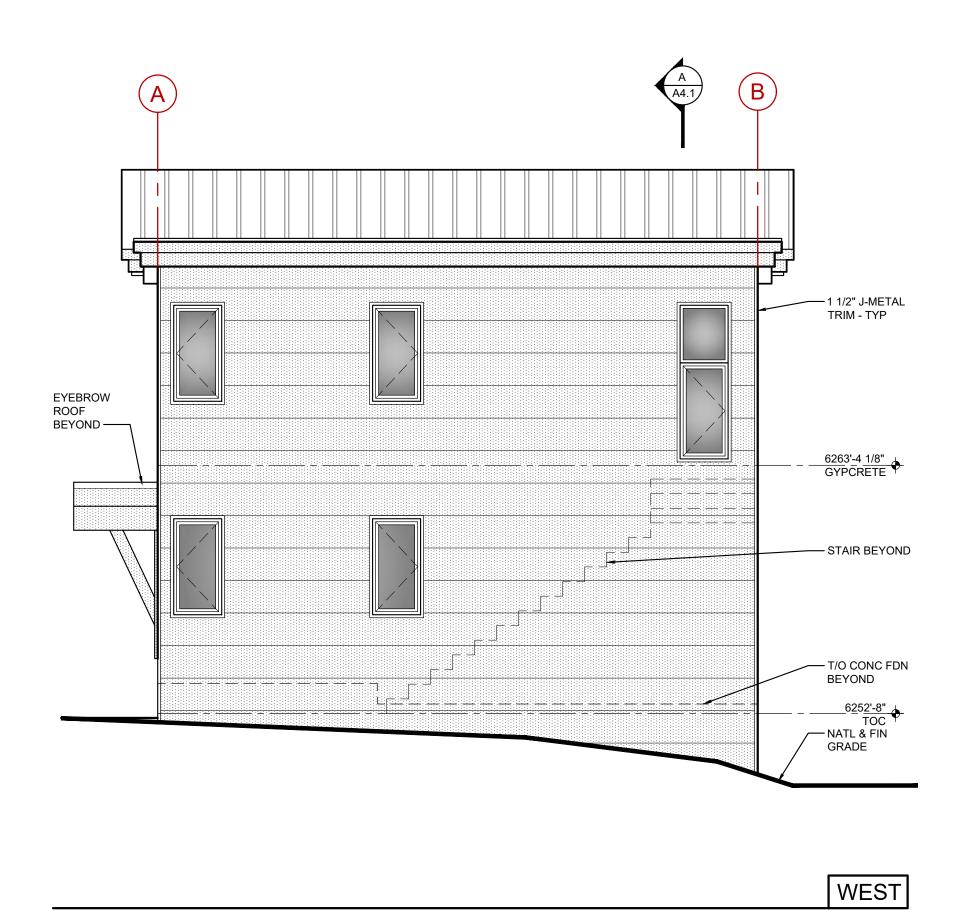
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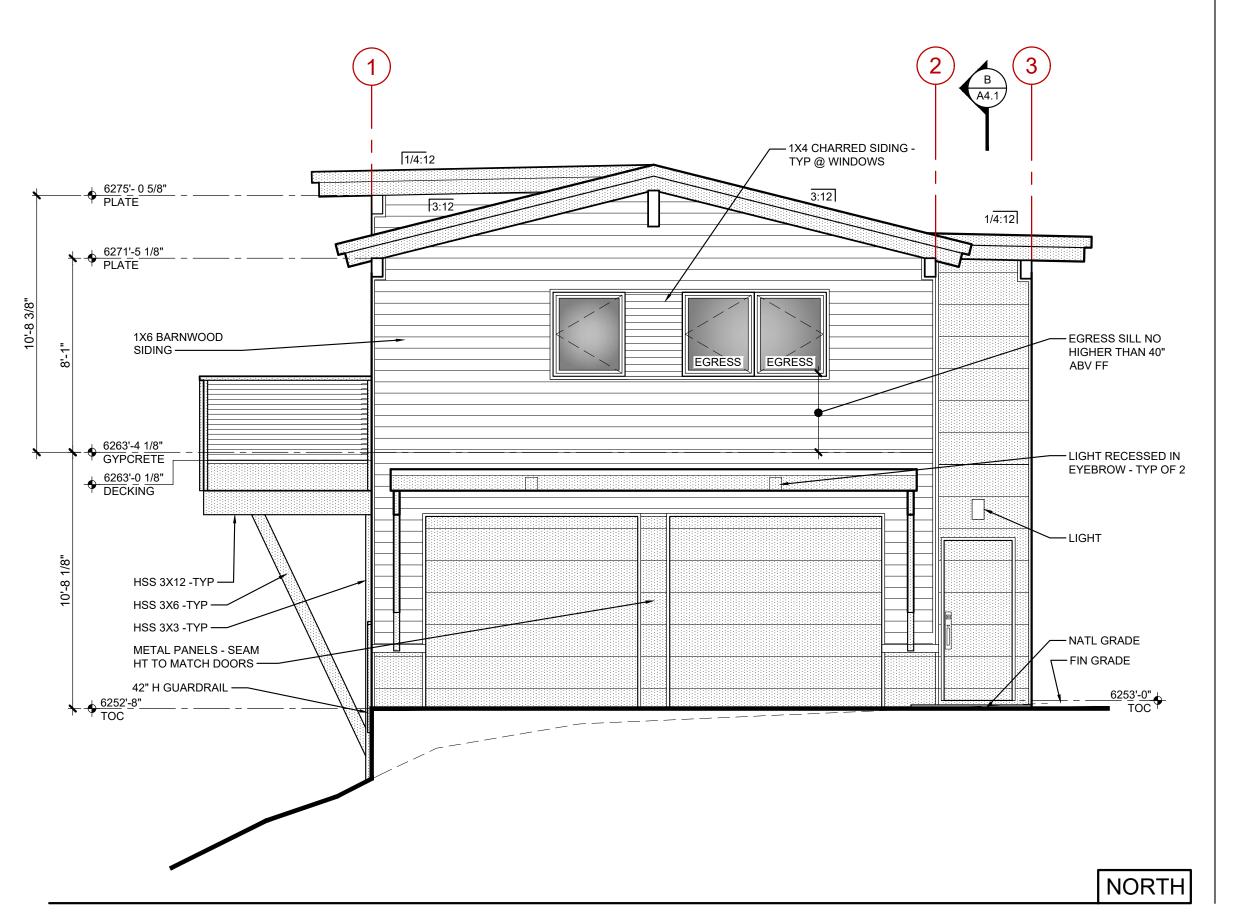
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EAST





PERMIT NUMBER			

# JOB NUMBER 1521.2 FILE NUMBER 1521.2\_A3X ISSUE DATE 21 January 2023 SUBJECT HOA Review #3 SCALE 1/4" = 1'-0 UNO

TITLE

REVISIONS

### BUILDING ELEVATIONS

**A3.1** 

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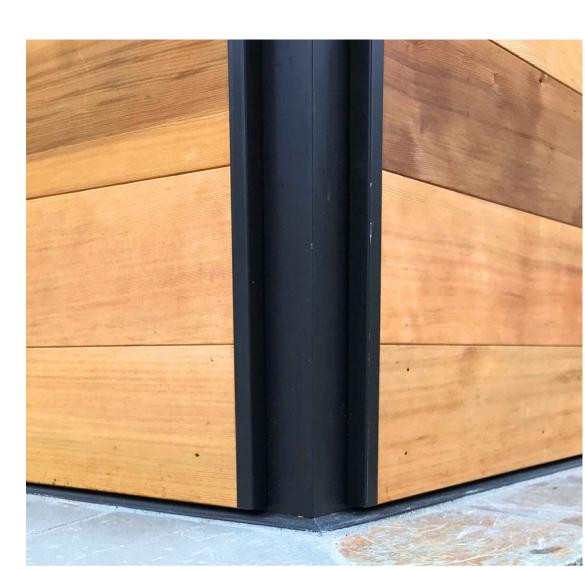
1) WOOD SIDING (1X6)



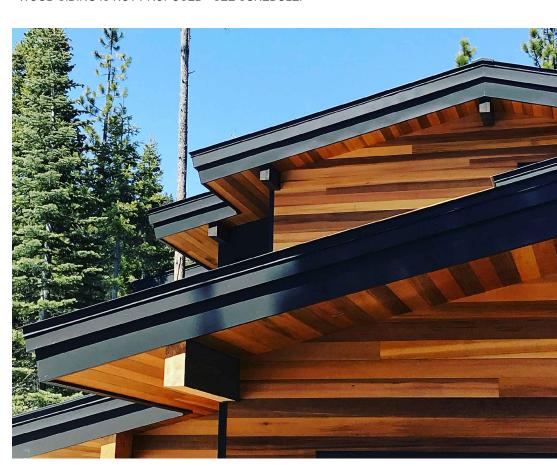
2) METAL PANEL SIDING & TRIM DETAIL. COLOR IS NOT AS PROPOSED - SEE SCHEDULE.



6) WOOD SIDING (1X4)



2) 3-PIECE METAL CORNER TRIM DETAIL. COLOR IS NOT AS PROPOSED. WOOD SIDING IS NOT PROPOSED - SEE SCHEDULE.



2) METAL ROOFING; METAL FASCIA & SHINGLE MOULD DETAIL. COLOR IS NOT AS PROPOSED. 5) SOFFITS WOOD SIDING IS NOT AS PROPOSED. SEE SCHEDULE.

#### **EXTERIOR COVERINGS NOTES**

1) EXTERIOR WALLS/COVERINGS SHALL COMPLY WITH THE REQUIREMENTS OF CRC SECTION R703. WALL COVERINGS SHALL HAVE AN ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. WHEN REQUIRED, EXTERIOR WALLS/COVERINGS SHALL ALSO FULLY COMPLY WITH WUI-CODE CRC SECTION R337.7.

2) EXTERIOR WALL COVERINGS, BACKING MATERIALS AND THEIR ATTACHMENTS SHALL MEET OR EXCEED WATER AND WIND RESISTANCE AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.1.1, R703.1.2 AND R703.2.

3) EXTERIOR WALL COVERINGS SHALL MEET OR EXCEED THE THICKNESS AND ATTACHMENT/FASTENER REQUIREMENTS AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.3.

4) PROVIDE CORROSION-RESISTANT FLASHINGS AS DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.4.

5) INSTALL HORIZONTAL AND VERTICAL WOOD AND HARDWOOD SIDING IN ACCORDANCE WITH CRC SECTION R705.

6) WATER-RESISTIVE BARRIERS SHALL BE INSTALLED OVER WOOD-BASED SHEATHING AS REQUIRED AND DESCRIBED AND IN ACCORDANCE WITH CRC SECTION R703.7.3.

#### **HEIGHT CALCULATIONS**

SEE SHEET A3.1

#### EXTERIOR FINISH SCHEDULE

1) WOOD SIDING: 1X6 TRESTLEWOOD NATURE AGED CEDAR T&G W/1/4"X1/4" CHANNEL; OFSM #8140-2041:0001

2) PAINTED STEEL,METAL ROOFING, METAL PANEL SIDING, FLASHINGS, CORNER TRIM, WINDOW & DOOR TRIM, WATERTABLE, FASCIA/SHINGLE MOULD CLADDING: <u>BERRIDGE</u> POWDERCOAT KYNAR 500 LOW GLOSS "AGED BRONZE"

3) LIGHTING FIXTURES/TRIMS: PAINTED TO MATCH METAL PANEL. SCONCES: HINKLEY "KUBE" - SEE SPEC ON SHEET A3.2

4) WINDOWS: ANDERSEN "BLACK"

5) SOFFITS: 1X6 <u>DOLLY VARDEN</u> CLEAR VERT GRAIN CEDAR T&G - FINE LINE - NAT'L STAIN

6) WOOD SIDING: 1X4 CYPRESS T&G DELTA MILLWORKS, BURNED & BRUSHED - NAT'L FINISH - OFSM #8140-2041:001

#### EXTERIOR FINISH LEGEND

#### TRPA DESIGN STANDARDS:

1) COLOR: THE COLOR OF THE STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTH TONE AND WOOD TONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. APPROPRIATE EARTH TONES ARE CONSIDERED TO BE SHADES OF DARK REDDISH BROWN, DARK BROWN, AND DARK GREEN

2) ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTH TONE OR WOOD TONE MATERIALS THAT MINIMIZE REFLECTIVITY. ALL EXPOSED METAL ROOFING MATERIALS, INCLUDING FLASHING AND CHIMNEY CAPS SHALL BE PAINTED OR PRE-WEATHERED TO MINIMIZE REFLECTIVITY. GLOSS RATING (G.R.), AROUND OR BELOW 10. GC SHALL CONFIRM ROOFING G.R. COMPLIANCE W/ TRPA.

3) EXTERIOR LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES, CHAPTER 30, SECTION 30.8, EXTERIOR LIGHTING STANDARDS.

#### ROOF NOTES

1) ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF CRC SECTION R337 AND R902. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. CRC SECTION R337.5.2.

2) ROOF COVERING MATERIAL SHALL BE METAL, NON-COMBUSTIBLE, OR SHALL BE LISTED AS CLASS "A" FIRE RETARDANT MATERIAL. CERTIFICATE OF COMPLIANCE SHALL BE FILED WITH THE BUILDING DEPARTMENT.

3) WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019-INCH CORROSION-RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH-WIDE UNDERLAYMENT CONSISTING ON ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. CRC SECTION R337.5.3. CBC SECTION 705A.3.

4) ALL ROOFS, REGARDLESS OF COVERING, WITH A PITCH OF LESS THAN 8:12 SHALL BE PROTECTED AGAINST LEAKAGE FROM ICE BUILD UP. ICE GUARD SHALL BE INSTALLED WITH AN APPROVED CEMENTING MATERIAL SO THAT THE MEMBRANE AND ROOF SHEATHING ARE SOLID MOPPED TOGETHER EXTENDING FROM THE EAVE, INCLUDING THE OVERHANG, UP THE ROOF TO A POINT 5 FEET INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. PROTECTION ALSO REQUIRED AT RAKE WALLS AND VALLEYS, 30" ALONG EACH SIDE. THIS SHALL BE COMPLETED IN ADDITION TO UNDERLAYMENT OTHERWISE REQUIRED.

5) EAVES AND SOFFITS SHALL MEET THE REQUIREMENTS OF CRC SECTION R337.7.5 OR SHALL BE PROTECTED BY INGNITION-RESISTANT MATERIALS OR NONCOMBUSTIBLE CONSTRUCTION ON THE EXPOSED UNDERSIDE.

6) BOOF CUTTERS: NOT USED

6) ROOF GUTTERS: NOT USED

7) NOT USED.

8) VENTS: (E) ROOF VENTILATION TO REMAIN AND/ OR BE REPAIRED.

9) HOT OR COLD MOP UNDERLAYMENT ROOFING IS REQUIRED AS NOTED IN CRC SECTION R905.7.1

10) ALL PLUMBING VENT, B-VENTS, CHIMNEYS, AND MISC. OBSTRUCTIONS PROJECTING THROUGH A ROOF OF 3:12 SLOPE OR GREATER, SHALL BE PROTECTED FROM DAMAGE BY SKIDING SNOW OR ICE, EXCEPT FOR THOSE PROJECTIONS WITHIN 36" OF THE RIDGE. THIS SHALL BE ACCOMPLISHED BY USING FORMED METAL GUARDS CRICKETS, SADDLES, OR OTHER METHODS APPROVED BY THE CHIEF BUILDING OFFICIAL.

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REVISIONS		

#### PERMIT NUMBER

LN
1521.2
1521.2_A3X
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HOA Review #3
1/4" = 1'-0 UNO

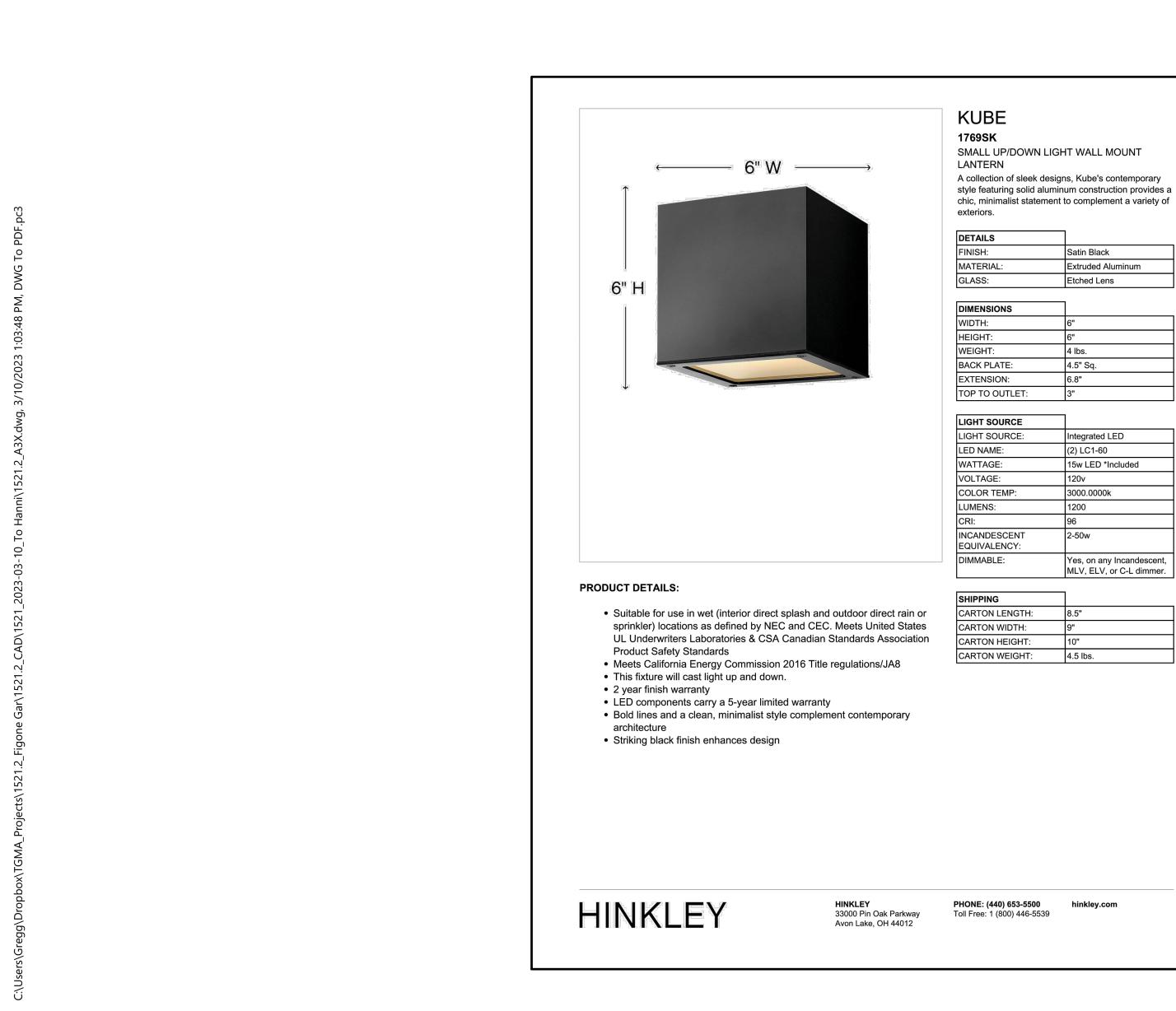
TITLE

BUILDING MATERIALS & FINISHES

**A3.2** 

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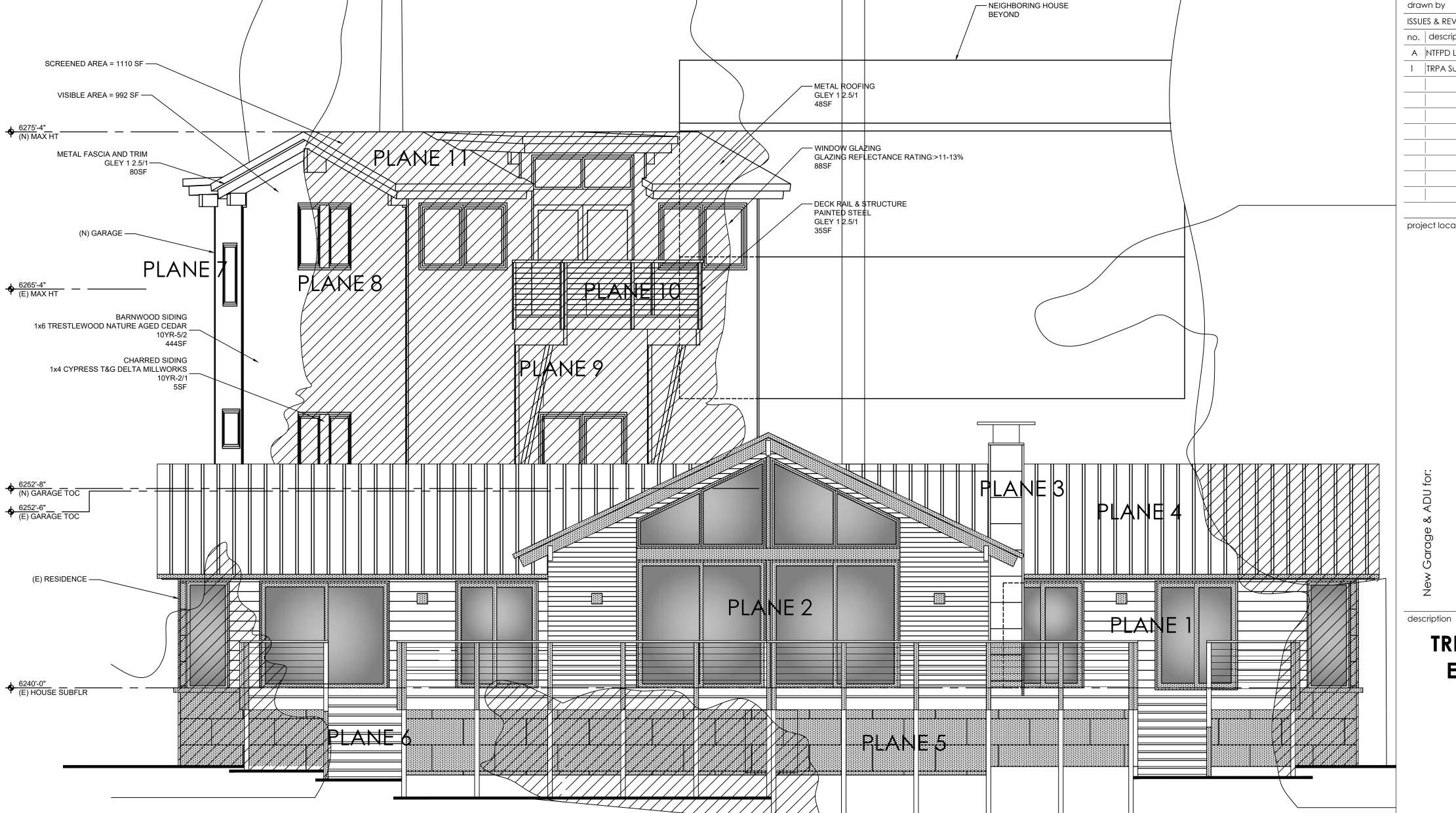
#### FIGONE RESIDENCE - EXISTING HOUSE TRESTLE-WOOD 1X6 BAN 1X4 RAILING POSTS SIDING SIDING ROOF TRIM PANELS RAIL FRAMES GLAZING Façade = 1402 Percentage Color and Reflectance Rating 1 Munsell Color for surface and 2.5/1 2.5/1 2.5/N 7.5YR - 4/6 2.5/1 >11-13 Reflectance for glass 10YR - 5/2 10YR - 2/1 2.5/1 Percentage Texture Score 2 Texture: # of Planes: 6 6 Percent of Perimeter Visible: 45% Perimeter Score 3 CONTRAST RATING 26 FIGONE RESIDENCE - PROPOSED GARAGE TRESTLE- SAN SUGI WOOD 1X6 Lakefront FASCIA & Façade GLAZING 706 Percentage 100% Color and Reflectance Rating <sup>1</sup> Munsell Color for surface and Reflectance for glass 10YR - 5/2 10YR - 2/1 2.5/1 2.5/1 >11-13 2.5/1 = 10.2 0.4 Percentage Surface Plane/ Texture Score 2 # of Planes: 5 + Perimeter Score 3 Percent of Perimeter Visible: 22 CONTRAST RATING COMPOSITE SCORE Total

	Proposed Proposed Residence Garage	Total Lakefront Façade
Area SF	1402 + 706	= 2108
Percentage	67% 33%	
CONTRAST RATING	x x x 22	
	17.4 + 7.3	= 24.7
		25
	Proposed Proposed	

	Proposed house	Proposed Garage	TOTAL VISIBL	E AREA	•
LAKEFRONT FAÇADE: SCREENED AREA:	1402 400	706 550			
VISIBLE AREA:	1002	156=	1158	SF .	VISIBLE S.F. ALLOWED 1190
					L.F. of Shoreline > 100' 0
				Po	ossible Allowed Vis. S.F. 1190

#### SCENIC GENERAL NOTES:

- 1. THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT WAS EVALUATED AS A PROJECT AREA TO INCLUDE APN:
- 2. THE PROJECT COMPLIES WITH LEVEL 4 OF THE VISUAL MAGNITUDE SYSTEM (SECTION 66.3.3) OF THE TRPA CODE OF ORDINANCES.
- 3. THE TOTAL SQUARE FEET OF VISIBLE AREA ALLOWED FOR THIS PROJECT PER CODE IS 1,190SF. THE PROPOSED TOTAL VISIBLE AREA FOR THIS PROJECT IS 1,158SF.
- COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.
- ROOFS: ROOF SHALL BE COMPOSED OF NON-GLARE EARTHTONE OR WOODTONE MATERIALS THAT MINIMIZE
- 6. FENCES: WOODEN FENSHES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.



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stamp

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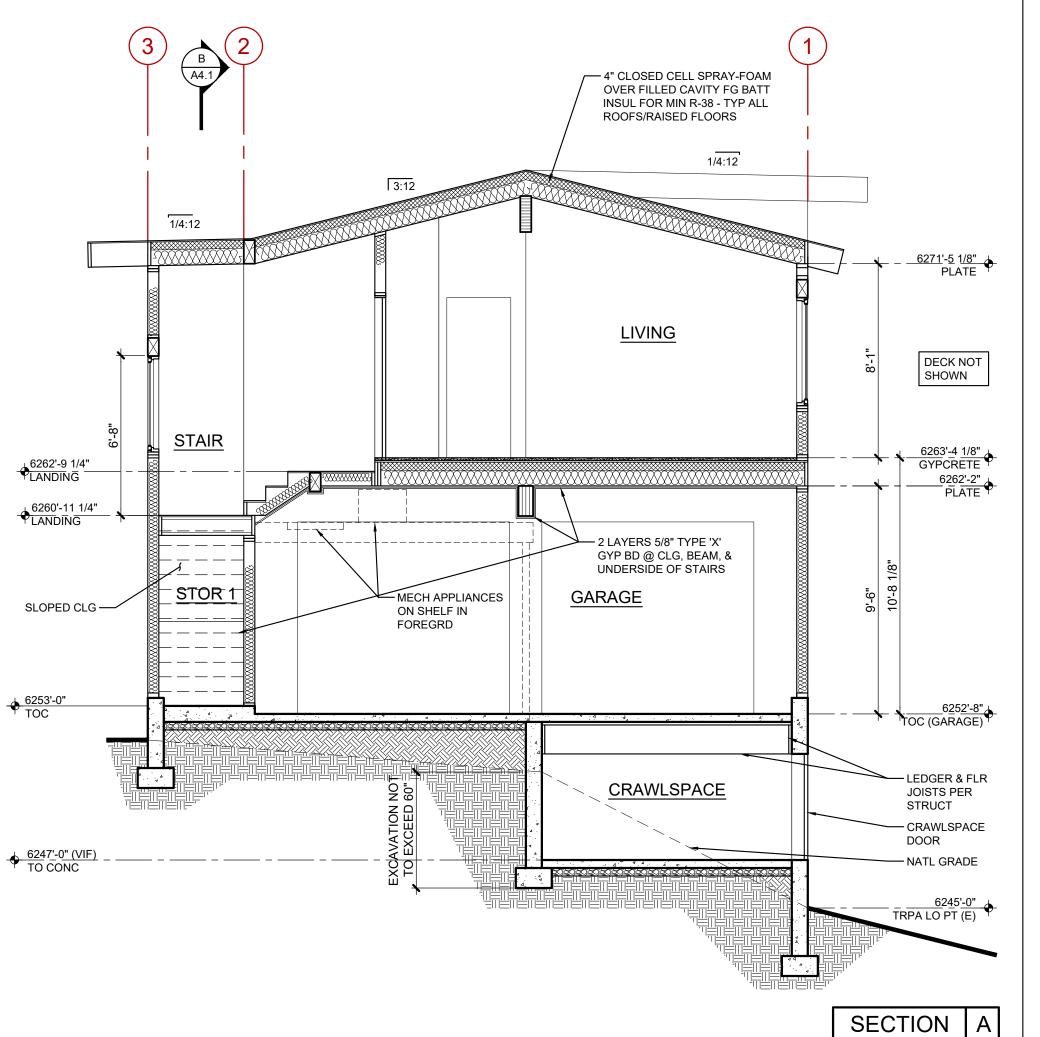
proj	ect number	2022.062
drawn by -		ecked by -
ISSUES & REVISIONS		
no.	description	date
Α	NTFPD LAR	2023.03.23
1	TRPA Submittal	2023.06.05
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	1	<u> </u>

project location

TRPA Scenic

**Elevation** 

NOTES: 1. PROVIDE AN ICE BARRIER UNDERLAYMENT @ THE ROOFING EXTENDING FROM THE EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 21"
INSIDE THE EXTERIOR WALL LINE OF THE
BUILDING 2. ROOF EAVES & SOFFITS SHALL BE NON-COMBUSTIBLE MATERIAL/ IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE 'X' EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE EAVE OR SOFFIT. 3. FLOOR PROJECTIONS SHALL BE NON-COMBUSTIBLE MATERIAL/ IGNITION RESISTANT MATERIAL OR ONE LAYER OF 5/8" TYPE 'X' EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE FLOOR PROJECTION. **BEDROOM** 2X8 FLR JOIST — 6263'-4 1/8" GYPCRETE 6262'-2" PLATE 6262'-9 1/4" LANDING 6260'-11 1/4" LANDING EYEBROW ROOF BEYOND STORAGE 1 6253'-0" TOC SECTION B



# TGM \ RCHITECT

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REVISIONS

PERMIT NUMBER	
JOB NUMBER	1521.2
FILE NUMBER	1521.2_A4X
ISSUE DATE	21 January 2023
SUBJECT	HOA Review #3
SCALE	1/4" = 1'-0 UNO

TITLE

### BUILDING SECTIONS

**A4.1** 

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