



**Mail**

PO Box 5310  
Stateline, NV 89449-5310

**Location**

128 Market Street  
Stateline, NV 89449

**Contact**

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www.trpa.gov

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STAFF REPORT

Date: February 8, 2024

To: TRPA Hearings Officer

From: TRPA Staff

Subject: Skywalker Investments Access Bridge Replacement  
1615 River Road, Tahoe City, Placer County, California  
Assessor's Parcel Numbers 095-130-014, 095-130-012, 095-130-013 & 095-140-023  
TRPA File Number ERSP2023-0208

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Requested Action:

Hearings Officer action on the proposed project and related findings (Attachment A) based on this Staff Report and the Draft Permit (Attachment B).

Summary and Staff Recommendation:

The applicant is proposing a private access bridge over the Truckee River to replace a bridge that was removed in 2022. The project includes a 20-foot wide bridge over the river and 10-foot wide paved access on the far side of the river extending about 100 feet through a Stream Environment Zone (SEZ) to a gravel turnaround near the old building site. All other coverage will be removed and restored, except a dirt road, tennis court, and concrete steps at the old building site.

Staff recommends that the Hearings Officer make the required findings and approve the proposed project.

Project Description/Background:

The project area is historically known as Rampart and includes 4 adjoining parcels totaling about 9.1 acres. The property is served by a 30-foot wide access easement for a bridge connecting to Highway 89. The property is under new ownership and will be addressing code compliance issues from prior owners and activities. The old bridge was in poor condition, partially collapsed, became a safety hazard, and was removed in 2022 (see TRPA File ERSP2022-1790). There is no alternative access to the site.

All improvements within river have been removed. Minor foundation elements remain on each side of the river. Most of the buildings and structures in the project area have also been removed. All other coverage will be removed and restored with this project, except a dirt road, tennis court, and concrete steps at the old building site.

Unpermitted grading, stockpiling, landscaping and SEZ disturbances will be addressed and natural functions restored with this project. Replacing the bridge will restore site access and allow restoration to proceed in advance of development.

The old bridge was a steel and wood structure, 10-feet in width, with three rock-cribbing support structures in the river. The proposed replacement bridge is a 20-foot wide clear-span structure that will be installed by crane. This project will not disturb areas in the river or between the FEMA base flood elevation lines (6,208.5').

A residential and/or lodging complex with 35,563 square feet of land coverage has been verified in the project area. TRPA has verified legally existing coverage associated with the old buildings and bridge, but has not verified the specific units of use.

Single family dwellings are an allowed use in this area. The increased bridge width is designed and required for code-compliant access to one or more single family dwellings.

The 4 existing Placer County parcels were not approved by TRPA and are not considered legally existing for TRPA permitting purposes. A 4-parcel project area for land coverage is required with this permit. Parcel configurations and development rights will need to be addressed before future development occurs.

Environmental Review:

An Initial Environmental Checklist (IEC) has been prepared for this project (Attachment C). No significant or unmitigated environmental impacts were identified in the IEC.

Public Comment:

A notice of public hearing was mailed to all property owners within 300 feet of the project on February 1, 2024. Any comments received will be provided at the Hearings Officer meeting.

Regional Plan Compliance:

- A. Placer County Tahoe Basin Area Plan: The property is located within the Lower Truckee River subdistrict of the Placer County Tahoe Basin Area Plan. This is a Recreation district. Allowed uses include single family dwellings and passive recreation and resource management uses. Limited other uses may be allowed with a special use permit. Because there is no primary use being served at this time, the project is classified as a Transportation Route, which requires a conditional use permit. For properties requiring TRPA review, the equivalent process is special use permit review and approval by a Hearings Officer in accordance with Section 2.2.2.2.a of the TRPA Code.
- B. Grading and Construction: Footings for the bridge require excavation up to 13 feet deep. Groundwater will likely be encountered. A soils hydrologic approval was issued (LCAP2023-0202) and appropriate dewatering plan measures are included in the plans.

The project does not propose any disturbances in the river bed or in areas between the FEMA base flood elevation lines (6,208.5'). SEZ disturbances are the minimum required for access.

- C. Access: The North Tahoe Fire Protection district requires 20-foot widths for access roads over 150 feet in length. Alternative means and methods for achieving fire safety do not appear reasonable given the driveway length and significant wildfire hazard. The bridge is proposed to be 20 feet wide to accommodate future projects. The remaining access road narrows to 10 feet and will likely need to be expanded in the future.
- D. Land Coverage / Stream Environment Zone: This project complies with land coverage requirements of the TRPA Code of Ordinances. A 4-parcel project area for land coverage will be established with this project. The project area is located on Class 1b, Class 2, Class 4 and Class 6 land, per Placer County file# TRP15-90028. The project area is 476,545 square feet in size and has 82,335 square feet of base allowable coverage and 35,563 square feet of coverage verified as legally existing. The non-sensitive land area totals 284,568 square feet.

The access easement is considered a separate land coverage area. The easement area is located over the Truckee River and on Class 1b and Class 6 land, per TRPA file LCAP2020-0142. The easement area is 4,430 square feet in size and has 416 square feet of base allowable coverage and 990 square feet of coverage verified as legally existing. Portions of the bridge overhanging the Truckee River are not considered coverage and are not included in the existing and proposed coverage calculations.

No new coverage is being created. 5,134 square feet of verified coverage is being banked. The project requires that 338 square feet of Class 6 coverage be transferred from the project area to the easement area for required site access.

The access route crosses SEZ lands in the easement area and the project area before reaching the gravel turnaround on Class 6 land. To mitigate impacts, the driveway in the SEZ is paved, BMPs are installed, and the proposed improvements follow the existing verified access route.

In the project area, 463 square feet of coverage will be relocated within Class 1b/SEZ lands. Mitigation is required at a 1.5/1 ratio and will be addressed by retiring 24 square feet of existing Class 1b coverage and acquiring 208 square feet of Class 1b restoration credits.

In the easement area, 256 square feet of coverage needs to be relocated within Class 1b/SEZ lands. Mitigation is required at a 1.5/1 ratio and will be addressed by retiring 128 square feet of existing Class 1b coverage.

- E. Tree Removal: Two old growth trees over 30" diameter and four trees sized between 14" diameter and 30" diameter are proposed to be removed to accommodate the bridge and driveway. The two old growth trees are located within the 30 foot wide access easement and would pose an unacceptable risk to the bridge structure if retained. The project area retains significant tree cover.
- F. Scenic Quality: The project is visible from scenic highway unit #43 (Lower Truckee River), which is currently out of attainment with Threshold Standards. The reconstructed bridge is a clear span structure constructed with weathered steel bridge beams, wood guard rails, and concealed utility conduit. The project is in conformance with applicable scenic highway standards.

- G. Public Recreation: The project is located in a heavily used recreation area. The bike path will remain open throughout construction. Conditions require a construction management plan developed in consultation with the Tahoe City Public Utility District to minimize impacts on rafting, biking, and other public recreation.

Bridge clearance over the river is increased and will accommodate rafting uses. The bottom of the bridge is 7-9-feet above the ordinary high water line and 2-4 feet above the FEMA Base Flood Elevation. This is greater clearance than the prior bridge and other private bridges in the area.

- H. Code Compliance: Bridge reconstruction will facilitate restoration work and resolution of active code compliance cases. Unpermitted grading and SEZ disturbances will be restored prior to release of security for the bridge project. Additional restoration work may be required, as determined by TRPA compliance inspectors.

Other Agency Reviews:

The applicant presented the proposed bridge plans to the US Army Corps of Engineers, Lahontan Regional Water Quality Control Board, and the California Department of Fish and Wildlife (CDFW) for review and consultation on the need for agency permits to authorize construction of the bridge.

The bridge has been designed to span the Truckee River with abutments located above the ordinary high-water mark and FEMA's base flood elevation. As such, no permits are required from the US Army Corps of Engineers and a construction permit is not required by Lahontan.

The CDFW issued a Lake and Streambed Alteration permit for the project. The project will also need a Placer County building permit and a California construction stormwater general permit to be issued by Lahontan.

Required Actions:

Staff recommends that the Hearings Officer take the following actions, based on the staff report:

- 1) Approve the required findings, including a finding of no significant effect; and
- 2) Approve the proposed project subject to the conditions in the draft permit.

Contact Information:

This memorandum was jointly prepared by TRPA outsource review consultant Arlo Stockham, AICP (Stockham Consulting) and TRPA Principal Planner, Aly Borawski. If you have questions on this Hearings Officer item, please contact Aly Borawski at 775-589-5229 or [aborawski@trpa.gov](mailto:aborawski@trpa.gov). To submit a written public comment, email [publiccomment@trpa.gov](mailto:publiccomment@trpa.gov) with the appropriate agenda item in the subject line. Written comments received by 4 p.m. the day before a scheduled public meeting will be distributed and posted to the TRPA website before the meeting begins. TRPA does not guarantee written comments

received after 4 p.m. the day before a meeting will be distributed and posted in time for the meeting.

Attachments:

- A. Required Findings
- B. Draft Permit
- C. Initial Environmental Checklist
- D. Draft Project Area Deed Restriction for Land Coverage
- E. Preliminary Plans

Attachment A  
Required Findings

## Required Findings/Rationale

The following is a list of the required findings as set forth in Chapters 3, 4, 21, 30, 33, and 61 of the TRPA Code of Ordinances. Following each finding, Agency staff has indicated if there is sufficient evidence contained in the record to make the applicable findings or has briefly summarized the evidence on which the finding can be made.

### **Chapter 3: Environmental Documentation:**

- a. Finding 3.2.2.A The proposed project could not have a significant effect on the environment and a finding of no significant effect shall be prepared in accordance with Rules of procedure Section 6.6.
- b. Finding 3.2.2.B The project could have a significant effect on the environment but, due to the listed mitigation measures that have been added to the project, the project could have no significant effect on the environment and a mitigated findings of no significant effect shall be prepared in accordance with Rules of Procedure Section 6.7
- c. Finding 3.2.2.C The proposed project may have a significant effect on the environment and an environmental impact statement shall be prepared in accordance with this chapter and Rules of procedure, Article 6.

An initial environmental checklist (IEC) and has been prepared for this project. Based on the IEC, information submitted with the application, and the proposed conditions of approval, the proposed project could have no significant effect and a mitigated finding of no significant effect shall be prepared in accordance with TRPA's Rules of Procedure.

### **Chapter 4 – Required Findings:**

- (a) The project is consistent with and will not adversely affect implementation of the Regional Plan, including all applicable Goals and Policies, Plan Area Statements and maps, the Code and other TRPA plans and programs.

Based on the findings provided on the Article V(g) Findings Checklist, there is sufficient evidence in the project file to make this finding.

- (b) The project will not cause the environmental threshold carrying capacities to be exceeded.

The project meets the provisions of the TRPA Code of Ordinances; no significant environmental impacts will occur, and it will not cause the environmental threshold carrying capacities to be exceeded.

- (c) Wherever federal, state or local air and water quality standards applicable for the Region, whichever are strictest, must be attained and maintained pursuant to Article V(g) of the TRPA Compact, the project meets or exceeds such standards.

All potential effects are temporary and shall be mitigated through temporary and permanent Best Management Practices (BMPs). The applicant will meet or exceed all federal, state, or local water quality standards. Upon completion of construction, the project will have no impact upon water quality standards.

**Chapter 21 – Special Use Findings:**

- (a) The project, to which the use pertains, is of such a nature, scale, density, intensity and type to be an appropriate use for the parcel on which, and surrounding area in which, it will be located.

The proposed bridge is consistent with other properties requiring access over the Truckee River. The bridge uses a clear-span design with increased clearance for rafting and no disturbance within the ordinary high water line. Therefore, this finding can be made.

If the bridge were proposed together with a new residence, no special use permit would be required.

- (b) The project to which the use pertains, will not be injurious or disturbing to the health, safety, enjoyment of property, or general welfare of persons or property in the neighborhood, or general welfare of the region, and the applicant has taken reasonable steps to protect against any such injury and to protect the land, water, and air resources of both the applicant's property and that of surrounding property owners.

The project will comply with all TRPA and Placer County rules and regulations.

The project retains and enhances the current development site and improvements. No health, safety, or general welfare impacts have been identified. Existing non-conformities are reduced with the improvements listed above. Water Quality Best Management Practices will be installed. Restoring site access will also enable and support necessary restoration work for prior unpermitted disturbances.

- (c) The project, to which the use pertains, will not change the character of the neighborhood or detrimentally affect or alter the purpose of the applicable planning area statement, community plan and specific or master plan, as the case may be.

The proposed project retains existing land use patterns and neighborhood character. The project replaces an old bridge in the same location and will not change the character of the neighborhood or detrimentally affect the purpose of this Area Plan subdistrict.

**Chapter 30 – Land Coverage**

**30.4.2 Transferred Land Coverage Requirement**

**Finding 30.4.2.A.2 Linear Public Facilities and Public Health and Safety Facilities**



The maximum land coverage for linear public facilities is limited to the minimum amount needed to achieve their public purpose, except as provided for non-motorized public trails in subsection 30.4.6.D.3. Such transfer may be permitted, provided TRPA makes the following findings:

The project requires the transfer of 338 square feet of verified Class 6 coverage from the project area to the easement area. Because the bridge is proposed in advance of a development project, a linear public facility application is required. Linear public facilities include accessory uses such as access rights-of-way.

- (a) The project complies with required findings for additional public service facilities if required pursuant to Section 50.8.

The proposed access bridge is not an “additional” public facility but rather the reconstruction of a previously existing public facility access bridge which was demolished due to life safety concerns. The reconstruction design includes a minimum expansion to meet stipulated North Tahoe Fire Protection District requirements.

- (b) There is no feasible alternative that would reduce land coverage.

The proposed access bridge reconstruction will replace the previously existing, non-compliant one-lane bridge with a bridge that adheres to all fire safety and applicable ingress/egress regulatory requirements. The proposed access bridge utilizes the minimum amount of coverage necessary considering all dimension requirements associated with a bridge. No unnecessary design elements are included in the proposed project that would require additional coverage.

- (c) The project, because of its unusual configuration or service requirement, requires special consideration; and

The proposed access bridge reconstruction project is providing access to parcels on the south side of the Truckee River, across the river from Highway 89. The previously existing bridge was demolished in fall 2022 due to life/safety concerns. The “unusual configuration” in this case is the location of the parcels across the Truckee River from Highway 89.

The parcels being separated from any accessible road or Highway by the Truckee River, and the proposed life/safety benefits associated with an updated bridge, demonstrate the “special consideration” for which the additional coverage is needed for the bridge.

- (d) The facility primarily serves the needs of persons other than those who are or will be residents of the lands in question, or the owners of the land in question.

Although the bridge will be for the benefit of the four (4) identified parcels, it is not a new facility, but rather the reconstruction of a previously existing facility. Expansion from the previously existing one-lane bridge dimensions to the proposed dimensions – and the associate coverage transfer - is required by North Tahoe Fire Protection District for public safety purposes.

#### 30.4.4 Relocation of TRPA-Verified Existing Land Coverage

A. The relocation is to an equal or superior portion of the parcel or project area, as determined by reference to the following factors:

- (1) Whether the area of relocation already has been disturbed;
- (2) The slope of and natural vegetation on the area of relocation;
- (3) The fragility of the soil on the area of relocation;
- (4) Whether the area of relocation appropriately fits the scheme of use of the property;
- (5) The relocation does not further encroach into a stream environment zone, backshore, or the setbacks established in the Code for the protection of stream environment or backshore;
- (6) The project otherwise complies with the land coverage mitigation program set forth in Section 30.6.

The project requires the relocation of verified coverage within Class 1b lands in the project area (462 square feet) and the easement area (256 square feet). Relocation of coverage within Class 6 lands is also required for the bridge abutments and gravel turnaround.

All relocations of existing land coverage on the affected property involve areas with similar soil fragility, vegetation, slope and aspect. Excess land coverage shall be mitigated to comply with Section 30.6 of the Code (Excess Land Coverage Mitigation Program).

Coverage relocations provide safe site access. The relocations place verified Class 1b coverage adjacent to existing disturbed areas and are needed for compliant site access. Class 1b coverage that isn't required for access, including a shed and dirt road segment, will be removed and restored.

Relocations are consistent with factors 1-6 and do not increase coverage on sensitive lands. See the additional discussion below.

B. The area from which the land coverage was removed for relocation is restored in accordance with subsection 30.5.3

The project will restore all coverage removal areas.

C. The relocation shall not be to Land Capability Districts 1a, 1b, 1c, 2, or 3 from any higher numbered land capability district.

No coverage is relocated into class 1b land.

D. If the relocation is from one portion of a stream environment zone to another portion, there is a net environmental benefit to the stream environment zone. "Net environmental benefit to a stream environment zone" is defined as an improvement in the functioning of the stream environment zone and includes, but is not limited to:

- (1) Relocation of coverage from a less disturbed area to a more disturbed area or to an area further away from the stream channel or water body, as applicable;
- (2) Retirement of land coverage in the affected stream environment zone in the amount of 1.5:1 of the amount of land coverage being relocated within a stream environment zone; or
- (3) For projects involving the relocation of more than 1,000 square feet of land coverage within a stream environment zone, a finding, based on a report prepared by a qualified professional, that the relocation will improve the functioning of the stream environment zone and will not negatively affect the

A total of 718 square feet of existing class 1b coverage is relocated to other class 1b land.

Relocated coverage is moved from scattered locations to accommodate a wider bridge and access drive width, consistent with requirements of the North Tahoe Fire Protection District. The receiving areas adjoin existing coverage areas and are the minimum needed for site access.

Relocated coverage is mitigated at a 1:1.5 ratio, resulting in the retirement of 24 square feet of class 1b coverage and the acquisition of 208 square feet of Class 1b restoration credits within the project area, and the retirement of 128 square feet of class 1b coverage within the easement area.

The project does not involve more than 1,000 square feet of relocated class 1b coverage.

For these reasons, the proposed coverage transfers are expected to result in a net environmental benefit and the findings for coverage relocation are satisfied.

## Chapter 33: Grading and Construction

### 33.3.6 Excavation Limitations

2. TRPA may approve exceptions to the prohibition of groundwater interception or interference if TRPA finds that:
  - (a) Excavation is required by the International Building Code (IBC) or local building code for minimum depth below natural ground for above ground structures;
  - (b) Retaining walls are necessary to stabilize an existing unstable cut or fill slope;
  - (c) Drainage structures are necessary to protect the structural integrity of an existing structure;

- (d) It is necessary for the public safety and health;
- (e) It is a necessary measure for the protection or improvement of water quality;
- (f) It is for a water well;
- (g) There are no feasible alternatives for locating mechanical equipment, and measures are included in the project to prevent groundwater from leaving the project area as surface flow, and any groundwater that is interfered with is rerouted in the ground water flow to avoid adverse impacts to riparian vegetation;
- (h) It is necessary to provide two off-street parking spaces, there is no less environmentally harmful alternative, and measures are taken to prevent groundwater from leaving the project area as surface flow;
- (i) It is necessary to provide below grade parking for projects that qualify for additional height under subsection 37.5.4 or 37.5.9 to achieve environmental goals, including scenic improvements, land coverage reduction, and area-wide drainage systems. Measures shall also be included in the project to prevent ground water from leaving the project area as surface flow and that any groundwater that is interfered with is rerouted into the groundwater flow to avoid adverse impacts to hydrologic conditions, SEZ vegetation, and mature trees; or
- (j) It is necessary for a marina expansion approved pursuant to Chapter 14: Specific and Master Plans; and the environmental documentation demonstrates that there will be no adverse effect on water quality.

Excavation up to 13 feet is required for the bridge footings on both sides of the Truckee River to conform with applicable construction codes. A soils hydrologic approval has been granted by TRPA (LCAP2023-0202). Appropriate dewatering provisions are included in the plans. This is consistent with Finding (a) for groundwater interception.

The project does not propose any disturbances in the river bed or in areas between the FEMA base flood elevation lines (6,208.5').

## Chapter 61: Vegetation and Forest Health

### 61.1.5 Tree Removal Standards

- B. Before tree-related projects and activities are approved by TRPA, TRPA shall find, based on a report from a qualified forester, that the project or activity is consistent with this chapter and the Code. TRPA may delegate permit issuance to a federal, state, or other qualified agency through a memorandum of understanding.

Removed trees are located within 6 feet of the bridge and access drive. Removal is consistent with code standards.

### 61.3.7 Old Growth Enhancement and Protection

#### A. Standards for Conservation and Recreation Lands

Within lands classified by TRPA as conservation or recreation land use, any live, dead, or dying tree larger than 30 inches diameter at breast height (dbh) in westside forest types shall not be cut, and any live, dead or dying tree larger than 24 inches diameter at breast height in eastside forest types shall not be cut, except as provided below.

#### 2. Unacceptable Risk to Structures or Areas of High Use

A tree larger than 30 inches dbh in westside forest types and larger than 24 inches dbh in eastside forest types may be felled, treated, or removed if TRPA and the land manager determine the tree poses an unacceptable risk to occupied or substantial structures, overhead utility lines and conductors, critical public or private infrastructure, or areas of high human use. Examples of areas of high human use are campgrounds, parking lots, ski trails, and developed beaches. Where a land manager determines that a tree constitutes a physical emergency (e.g., imminent threat of falling on occupied or substantial structures, or people), the land manager may remove the tree but must provide photographic documentation and any applicable paperwork and fees to TRPA within ten working days of removal of the hazardous tree.

Two old growth pine trees 48 inches in diameter are proposed to be removed. Both trees are located within the 30-foot wide easement area. One of the trees appears to be dying.

TRPA finds that retaining either of the old growth trees would pose an unacceptable risk to the bridge structure. Both trees are located within the area of excavation for bridge footings. Designing the bridge to not impact the trees does not appear feasible. Retaining trees with severed roots would undermine tree stability and pose an unacceptable risk to the bridge and people in the area.

Attachment B  
Draft Permit



**TAHOE  
REGIONAL  
PLANNING  
AGENCY**

**Mail**

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**Location**

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**Contact**

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February 15, 2024

Jackson Realo  
Exline & Company, Inc  
P.O. Box 16789  
South Lake Tahoe, CA 96151  
[jackson@exlineandcompany.com](mailto:jackson@exlineandcompany.com)

**BRIDGE REPLACEMENT PROJECT, 1615 RIVER ROAD, PLACER COUNTY, CALIFORNIA, ASSESSOR'S PARCEL NUMBER (APN) 095-130-014, 095-130-012, 095-130-013, 095-140-023, TRPA FILE NUMBER ERSP2023-0208**

Dear Jackson Realo,

Enclosed, please find the Tahoe Regional Planning Agency (TRPA) permit and attachment Q for the project referenced above. If you accept and agree to comply with the Permit conditions as stated, please make a copy of the permit, sign the "Permittee's Acceptance" block on the first page of the Permit, and return the signed copy to TRPA within twenty-one (21) calendar days of issuance. Should the permittee fail to return the signed permit within twenty-one (21) calendar days of issuance, the permit will be subject to nullification. Please note that signing the permit does not itself constitute acknowledgment of the permit but rather an acceptance of the conditions of the permit.

TRPA will acknowledge the original permit only after all standard and special conditions of approval have been satisfied. Please email me all the final documents to finalize your project.

Pursuant to Rule 11.2 of the TRPA Rules of Procedure, this permit may be appealed within twenty-one (21) days of the date of this correspondence.

Thank you very much for your attention to this matter. If you have questions, please feel free to contact me by phone at (775) 589-5229 or by e-mail at [aborawski@trpa.gov](mailto:aborawski@trpa.gov).

Sincerely,

**ADD ELECTRONIC SIGNATURE**

Aly Borawski  
Principal Planner  
Permitting and Compliance

CC: Luke Emard  
198 Lewis Court  
Corona, CA 92882  
[Luke.Emard@renewepi.com](mailto:Luke.Emard@renewepi.com)

Camille Buehler, Lumos and Associates  
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**PERMIT**

PROJECT DESCRIPTION: Bridge Replacement

APNs: 095-130-014, 095-130-012,  
095-130-013, 095-140-023

PERMITTEE(S): Luke Emard

FILE #: ERSP2023-0208

COUNTY/ADDRESS: Placer County / 1615 River Road

Having made the findings required by Agency ordinances and rules, the TRPA approved the project on February 15, 2024, subject to the standard conditions of approval attached hereto (Attachment Q), and the special conditions found in this permit.

This permit shall expire on February 15, 2027, without further notice unless the construction has commenced prior to this date and is diligently pursued thereafter. Commencement of construction consists of pouring concrete for a foundation and does not include grading, installation of utilities, or landscaping. Diligent pursuit is defined as the completion of the project within the approved construction schedule. The expiration date shall not be extended unless the project is determined by TRPA to be the subject of legal action, which delayed or rendered impossible the diligent pursuit of the permit.

NO DEMOLITION, TREE REMOVAL, CONSTRUCTION, OR GRADING SHALL COMMENCE UNTIL:

- (1) TRPA RECEIVES A COPY OF THIS PERMIT UPON WHICH THE PERMITTEE(S) HAS ACKNOWLEDGED RECEIPT OF THE PERMIT AND ACCEPTANCE OF THE CONTENTS OF THE PERMIT;
- (2) ALL PRE-CONSTRUCTION CONDITIONS OF APPROVAL ARE SATISFIED, AS EVIDENCED BY TRPA'S ACKNOWLEDGEMENT OF THIS PERMIT;
- (3) THE PERMITTEE OBTAINS A COUNTY/CITY BUILDING PERMIT. TRPA'S ACKNOWLEDGEMENT IS NECESSARY TO OBTAIN A COUNTY/CITY BUILDING PERMIT. THE COUNTY/CITY PERMIT AND THE TRPA PERMIT ARE INDEPENDENT OF EACH OTHER AND MAY HAVE DIFFERENT EXPIRATION DATES AND RULES REGARDING EXTENSIONS; AND
- (4) A TRPA PRE-GRADING INSPECTION HAS BEEN CONDUCTED WITH THE PROPERTY OWNER AND/OR THE CONTRACTOR.

Sign when issued

February 15, 2024

TRPA Executive Director/Designee

Date

PERMITTEE'S ACCEPTANCE: I have read the permit and the conditions of approval and understand and accept them. I also understand that I am responsible for compliance with all the conditions of the permit and am responsible for my agents' and employees' compliance with the permit conditions. I also understand that if the property is sold, I remain liable for the permit conditions until or unless the new owner acknowledges the transfer of the permit and notifies TRPA in writing of such acceptance. I also understand that certain mitigation fees associated with this permit are non-refundable once paid to TRPA. I understand that it is my sole responsibility to obtain any and all required approvals from any other state, local or federal agencies that may have jurisdiction over this project whether or not they are listed in this permit.

Signature of Permittee(s)

Date

PERMIT CONTINUED ON NEXT PAGE



**APNs 095-130-014, 095-130-012, 095-130-013, 095-140-023  
FILE NO. ERSP2023-0208**

Excess Coverage Mitigation Fee (1):            Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Excess Coverage Mitigation Fee (2):            Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Security Posted (3):                            Amount \$ 5,000 \_\_\_\_\_ Type \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Security Administrative Fee (4):                Amount \$ \_\_\_\_\_ Paid \_\_\_\_\_ Receipt No. \_\_\_\_\_

Notes:

- (1) Amount to be determined. See Special Condition 3.I, below.
- (2) Amount to be determined. See Special Condition 3.J, below.
- (3) See Special Condition 3.K, below.
- (4) Consult the TRPA filing fee schedule for the current security administration fee.

Required plans determined to be in conformance with approval: Date: \_\_\_\_\_

TRPA ACKNOWLEDGEMENT: The permittee has complied with all pre-construction conditions of approval as of this date:

\_\_\_\_\_  
TRPA Executive Director/Designee

\_\_\_\_\_  
Date

***SPECIAL CONDITIONS***

1. This permit specifically authorizes construction of a bridge over the Truckee River to replace an old residential access bridge that partially collapsed, created a safety hazard, and and was removed in 2022 per TRPA File ERSP2022-1790. This approval is based on the revised Bridge Replacement Plans and Bridge Coverage Exhibit that was submitted to TRPA on December 22, 2023. The project includes a 20-foot wide bridge over the river and 10-foot wide paved access on the far side of the river extending about 100 feet through a Stream Environment Zone (SEZ) to a gravel turnaround near the old building site. All unverified coverage and unauthorized grading, stockpiling, and landscaping will be removed and land will be restored to provide natural functions. Existing verified coverage that has not already been demolished will be removed, except a dirt road, tennis court, and concrete steps in the Class 6 area. Additional restoration work may be required, as determined by TRPA compliance inspectors. The project requires the removal of 4 trees between 14 inches and 30 inches in size, and 2 old growth trees greater than 30 inches.

The 4 existing Placer County parcels were not approved by TRPA and are not considered legally existing for TRPA permitting purposes. A 4-parcel project area for land coverage is required. The project area is verified as Class 6, Class 4, Class 2, and Class 1b. The bridge is located on an off-site access easement, which is treated as a separate coverage area. The access easement is verified as Class 6 and Class 1b. The project requires that 338 square feet of Class 6 coverage be transferred from project area to the easement area. The project requires the relocation of Class 1b coverage (463 square feet in the project area and 256 square feet in the easement). Mitigation is required at a

1.5:1 ratio. The project area will retire 24 square feet of Class 1b coverage (leaving none banked) and will acquire an additional 208 square feet of Class 1b restoration credits. The easement will retire 128 square feet of class 1b coverage, leaving none banked.

The tables below show land coverage that will result from the project:

| Project Area Land Coverage (square feet)   |           |           |             |                                   |                  |                     |                 |
|--|-----------|-----------|-------------|-----------------------------------|------------------|---------------------|-----------------|
| Land Capability  | Allowable | Verified  | Transferred | Proposed                          | Remaining Banked | Remaining Allowable | Total Remaining |
| Class 1b   | 1,114 sf  | 1,396 sf  |             | 1,396 sf (includes 24 sf retired) | 0 sf             | 0 sf                | 0 sf            |
| Class 2  | 806 sf    | 85 sf     |             | 0 sf                              | 85 sf            | 721 sf              | 806 sf          |
| Class 4  | 9,911 sf  | 0 sf      |             | 0 sf                              | 0 sf             | 9,911 sf            | 9,911 sf        |
| Class 6  | 70,504 sf | 34,082 sf | -338 sf     | 28,695 sf                         | 5,049 sf         | 36,422 sf           | 41,471 sf       |
| Note: 463 square feet of verified Class 1b coverage is relocated, which requires mitigation at a 1.5:1 ratio. 232 square feet of mitigation is provided by retiring 24 square feet of class 1b coverage and acquiring an additional 208 square feet of Class 1b restoration credits. |           |           |             |                                   |                  |                     |                 |
| The project area has 282 square feet of excess class 1b coverage.  |           |           |             |                                   |                  |                     |                 |

| Easement Area Land Coverage (square feet)   |           |          |             |                                  |                  |                     |                 |
|---|-----------|----------|-------------|----------------------------------|------------------|---------------------|-----------------|
| Land Capability   | Allowable | Verified | Transferred | Proposed                         | Remaining Banked | Remaining Allowable | Total Remaining |
| Class 1b  | 31 sf     | 448 sf   |             | 448 sf (includes 128 sf retired) | 0 sf             | 0 sf                | 0 sf            |
| Class 6   | 385 sf    | 542 sf   | 338 sf      | 880 sf                           | 0 sf             | 0 sf                | 0 sf            |
| Note: 256 square feet of verified Class 1b coverage is relocated, which requires mitigation at a 1.5:1 ratio. Mitigation is provided by retiring 128 square feet of class 1b coverage |           |          |             |                                  |                  |                     |                 |
| The easement has 417 square feet of excess class 1b coverage plus 157 square feet of excess class 6 coverage, for a total of 574 square feet.   |           |          |             |                                  |                  |                     |                 |

Completion of this project will not result in a BMP Certificate.

2. The Standard Conditions of Approval listed in Attachment Q shall apply to this permit.
3. Prior to permit acknowledgement, the following conditions of approval must be satisfied:
  - A. The site plan sheets (sheets C2.1 & C4.0) shall be revised to include:
    - (1) Update the proposed coverage calculations consistent with the project coverage tables in condition 1 above. Updated calculations address 1.5:1 mitigation for relocation of Class 1b coverage, the 5,635 square-foot gravel area included as

coverage, updated banked coverage and remaining allowable coverage figures, and excess coverage.

- (2) Identify the project area and easement area in square feet.
  - (3) Identify existing and proposed off-site coverage in square feet.
  - (4) Provide a rock lined swale or suitable stabilization alternative for disturbed portions of the seasonal flow channel lying just east of the bridge on the far side of the river. Show the swale for the entire area within the construction boundary fencing, with a note indicating: "Minimize disturbance of the seasonal flow channel. Stabilize and revegetate any disturbed or unstable areas." Reference and include the TRPA detail, available at [tahoebmp.org/BMPHandbookCh4](http://tahoebmp.org/BMPHandbookCh4), or an approved alternative.
  - (5) Include a note that states "Remove all unverified coverage, coverage to be banked, and all unpermitted disturbances, grading, stockpiling, and landscaping. All disturbances, except the approved coverage areas, shall be restored to provide natural functions, as determined by the compliance inspectors. Project security shall not be released until compliance inspectors determine that sufficient restoration has been completed."
  - (6) A note indicating: "All areas disturbed by construction shall be revegetated in accordance with the TRPA Handbook of Best Management Practices and Living with Fire, Lake Tahoe Basin, Second Edition."
  - (7) Parking barriers such as boulders, dense vegetation, bollards, railings, and/or fencing to restrict vehicle travel to the paved access and gravel turnaround. A lockable gate may be provided for site access only within the TRPA grading season.
- B. Update the plan set to include the Bridge Coverage Exhibit that was submitted to TRPA on December 22, 2023; with revisions to the proposed coverage section classifying the proposed class 1b coverage as "existing" or "relocated", and mitigating relocated Class 1b coverage at a 1.5:1 ratio. The coverage table shall be consistent with condition 1 and the updated site plan.
- C. Update the plan set to include elevation drawings for the proposed bridge. Identify materials and colors consistent with the scenic exhibit submitted with the project application.
- D. Update the plan set to add notes on sheets C3.0, C4.0 & C4.1 referencing the dewatering plan (detail 3/C5.1).
- E. The permittee shall record the attached project area deed restriction that will permanently treat land coverage for these parcels as though they had been consolidated. A copy of the recorded deed restriction or the original recorded deed restriction shall be provided to TRPA prior to acknowledgement of the permit.

- F. The permittee shall transfer 208 square feet of class 1b restoration credits to the project area for minimum access that requires the relocation of 416 square feet of class 1b land coverage and mitigation at a 1.5:1 ratio.
- G. The permittee shall transfer 338 square feet of banked Class 6 coverage from the project area to the easement area. Please note that all transfers must be in compliance with the TRPA Code of Ordinances and the TRPA Rules of Procedure, and requires separate application to TRPA.
- H. The permittee shall consult with the Tahoe City Public Utility District and submit a construction management plan to minimize impacts on rafting, biking, and other public recreation in the Truckee River corridor.
- I. The project area has 282 square feet of excess land coverage. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 8 (Tahoe City) or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost (only the materials to construct the bearing elements of a structure) multiplied by the fee percentage of 0.06% (as identified in Table A of Subsection 30.6.1.C, Chapter 30 of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$8.50 for projects within Hydrologic Transfer Area #8 (Tahoe City). Please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case shall the mitigation fee be less than \$200.00.

- J. The easement area has 574 square feet of excess land coverage. The permittee shall mitigate a portion or all of the excess land coverage on this property by removing coverage within Hydrologic Transfer Area 8 (Tahoe City) or by submitting an excess coverage mitigation fee.

To calculate the amount of excess coverage to be removed, use the following formula:

Estimated project construction cost (only the materials to construct the bearing elements of a structure) multiplied by the fee percentage of 0.12% (as identified in Table A of Subsection 30.6.1.C, Chapter 30 of the TRPA Code of Ordinances) divided by the mitigation factor of 8. If you choose this option, please revise your final site plans and land coverage calculations to account for the permanent coverage removal.

An excess land coverage mitigation fee may be paid in lieu of permanently retiring land coverage. The excess coverage mitigation fee shall be calculated as follows:

Coverage reduction square footage (as determined by formula above) multiplied by the coverage mitigation cost fee of \$8.50 for projects within Hydrologic Transfer Area #8 (Tahoe City). Please provide a construction cost estimate by your licensed contractor, architect or engineer. In no case shall the mitigation fee be less than \$200.00.

- K. The security required under Standard Condition A.3 of Attachment R shall be \$5,000.00. Please see Attachment J, Security Procedures, for appropriate methods of posting the security and the required security administration fee.
  - L. The permittee shall submit an electronic version of the final plan set for electronic stamping.
4. Temporary and permanent BMPs may be field fit by the Environmental Compliance Inspector where appropriate.
  5. This approval is based on the permittee's representation that all plans and information contained in the subject application are true and correct. Should any information or representation submitted in connection with the project application be incorrect or untrue, TRPA may rescind this approval, or take other appropriate action.
  6. To the maximum extent allowable by law, the Permittee agrees to indemnify, defend, and hold harmless TRPA, its Governing Board (including individual members), its Planning Commission (including individual members), its agents, and its employees (collectively, TRPA) from and against any and all suits, losses, damages, injuries, liabilities, and claims by any person (a) for any injury (including death) or damage to person or property or (b) to set aside, attack, void, modify, amend, or annul any actions of TRPA. The foregoing indemnity obligation applies, without limitation, to any and all suits, losses, damages, injuries, liabilities, and claims by any person from any cause whatsoever arising out of or in connection with either directly or indirectly, and in whole or in part (1) the processing, conditioning, issuance, administrative appeal, or implementation of this permit; (2) any failure to comply with all applicable laws and regulations; or (3) the design, installation, or operation of any improvements, regardless of whether the actions or omissions are alleged to be caused by TRPA or Permittee.

Included within the Permittee's indemnity obligation set forth herein, the Permittee agrees to pay all fees of TRPA's attorneys and all other costs and expenses of defenses as they are incurred, including reimbursement of TRPA as necessary for any and all costs and/or fees incurred by TRPA for actions arising directly or indirectly from issuance or implementation of this permit. TRPA will have the sole and exclusive control (including the right to be represented by attorneys of TRPA's choosing) over the defense of any claims against TRPA and over their settlement, compromise, or other disposition. The permittee shall also pay all costs, including attorneys' fees, incurred by TRPA to enforce this indemnification agreement. If any judgment is rendered against TRPA in any action subject to this indemnification, the Permittee shall, at its expense, satisfy and discharge the same.

END OF PERMIT

Attachment C  
Initial Environmental Checklist



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**INITIAL ENVIRONMENTAL CHECKLIST  
 FOR DETERMINATION OF ENVIRONMENTAL IMPACT**

**Project Name:** Skywalker Investments Access Bridge Replacement

**APN/Project Location:** 095-130-014, 095-130-012, 095-130-013 & 095-140-023 / 1615 River Road (Hwy 89)

**County/City:** Placer County

**Project Description:**

Reconstruction of a previously existing bridge to access a four parcel project area located across the Truckee River from Highway 89 / River Road.

In fall of 2022, the existing bridge was demolished due to life/safety concerns. The previously existing bridge was a one-lane structure that had multiple structural and code compliance issues including:

- not adhering to current, applicable fire code ingress/egress requirements;
- deferred maintenance to structural components of the bridge, resulting in unsafe conditions; and
- existing rock crib pilings that would not be permissible for construction under current regulatory standards.

The proposed design for the bridge reconstruction will address these issues.

The old bridge was a steel and wood structure, 10-feet in width, with three support structures in the river. The proposed replacement bridge is a 20-foot wide clear-span structure that will meet all current fire and life/safety requirements and provide access to the identified parcels. The bridge will be installed by crane. The project will not disturb areas in the river or between the FEMA base flood elevation lines (6,208.5')

Please see the attached construction methodology and submittal letter for additional information.

The parcels accessed by the bridge previously had a residential and/or lodging complex with 35,563 square feet of verified land coverage. TRPA has verified legally existing coverage associated with the old buildings and bridge, but has not verified the specific units of use.

The property is located in the Placer County Tahoe Basin Area Plan, Lower Truckee River subdistrict. Single family dwellings are an allowed use in this area. The increased bridge width is designed and required for code-compliant access to one or more single family dwellings.

Additional uses are limited to passive recreation, resource management, and facilities that would require special use permit review. The bridge restores access to legally existing development.

The 4 existing Placer County parcels were not approved by TRPA and are not considered legally existing for TRPA permitting purposes. A 4-parcel project area for land coverage is required with this permit. Parcel configurations and development rights will need to be addressed before future development occurs.



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The following questionnaire will be completed by the applicant based on evidence submitted with the application. All "Yes" and "No, With Mitigation" answers will require further written comments. Use the blank boxes to add any additional information and reference the question number and letter. If more space is required for additional information, please attached separate sheets and reference the question number and letter.

For information on the status of TRPA environmental thresholds click on the links to the Threshold Dashboard.

## I. Environmental Impacts

### 1. Land

Current and historic status of soil conservation standards can be found at the links below:

- [Impervious Cover](#)
- [Stream Environment Zone](#)

Will the proposal result in:

|  | Yes                   | No                               | No, with mitigation              | Data insufficient     |
|--|-----------------------|----------------------------------|----------------------------------|-----------------------|
| a. Compaction or covering of the soil beyond the limits allowed in the land capability or Individual Parcel Evaluation System (IPES)?  | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |
| b. A change in the topography or ground surface relief features of site inconsistent with the natural surrounding conditions?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| c. Unstable soil conditions during or after completion of the proposal?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| d. Changes in the undisturbed soil or native geologic substructures or grading in excess of 5 feet?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| e. The continuation of or increase in wind or water erosion of soils, either on or off the site?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| f. Changes in deposition or erosion of beach sand, or changes in siltation, deposition or erosion, including natural littoral processes, which may modify the channel of a river or stream or the bed of a lake? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| g. Exposure of people or property to geologic hazards such as earthquakes, landslides, backshore erosion, avalanches, mud slides, ground failure, or similar hazards?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |

#### Discussion

Bridge improvements within the river were removed during the 2022 demolition project. The new structure is proposed to be a suspension bridge installed by crane. No in-river work disturbances are proposed.



## 2. Air Quality

Current and historic status of air quality standards can be found at the links below:

- [Carbon Monoxide \(CO\)](#)
- [Nitrate Deposition](#)
- [Ozone \(O3\)](#)
- [Regional Visibility](#)
- [Respirable and Fine Particulate Matter](#)
- [Sub-Regional Visibility](#)

Will the proposal result in:

|   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Substantial air pollutant emissions?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Deterioration of ambient (existing) air quality?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. The creation of objectionable odors?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Alteration of air movement, moisture or temperature, or any change in climate, either locally or regionally? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Increased use of diesel fuel?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

### 3. Water Quality

Current and historic status of water quality standards can be found at the links below:

- [Aquatic Invasive Species](#)
- [Deep Water \(Pelagic\) Lake Tahoe](#)
- [Groundwater](#)
- [Nearshore \(Littoral\) Lake Tahoe](#)
- [Other Lakes](#)
- [Surface Runoff](#)
- [Tributaries](#)
- [Load Reductions](#)

| Will the proposal result in:   | Yes                              | No                               | No, with mitigation   | Data insufficient     |
|--|----------------------------------|----------------------------------|-----------------------|-----------------------|
| a. Changes in currents, or the course or direction of water movements?   | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Changes in absorption rates, drainage patterns, or the rate and amount of surface water runoff so that a 20 yr. 1 hr. storm runoff (approximately 1 inch per hour) cannot be contained on the site? | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Alterations to the course or flow of 100-year flood waters?   | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Change in the amount of surface water in any water body?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Discharge into surface waters, or in any alteration of surface water quality, including but not limited to temperature, dissolved oxygen or turbidity?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Alteration of the direction or rate of flow of ground water?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| g. Change in the quantity of groundwater, either through direct additions or withdrawals, or through interception of an aquifer by cuts or excavations?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| h. Substantial reduction in the amount of water otherwise available for public water supplies?   | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| i. Exposure of people or property to water related hazards such as flooding and/or wave action from 100-year storm occurrence or seiches?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| j. The potential discharge of contaminants to the groundwater or any alteration of groundwater quality?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| k. Is the project located within 600 feet of a drinking water source?  | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> | <input type="radio"/> |

**Discussion**

The bridge is located within 600 feet of the Truckee River, downstream the Truckee river acts as a drinking water source. No significant effects will occur because the project does not include any "possible contaminating activities" listed in code section 60.3, includes BMP installations, and will restore and re-vegetate existing disturbed areas.



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## 4. Vegetation

Current and historic status of vegetation preservation standards can be found at the links below:

- [Common Vegetation](#)
- [Late Seral/Old Growth Ecosystems](#)
- [Sensitive Plants](#)
- [Uncommon Plant Communities](#)

**Will the proposal result in:**

|   | Yes                              | No                               | No, with mitigation   | Data insufficient     |
|---|----------------------------------|----------------------------------|-----------------------|-----------------------|
| a. Removal of native vegetation in excess of the area utilized for the actual development permitted by the land capability/IPES system?                                       | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Removal of riparian vegetation or other vegetation associated with critical wildlife habitat, either through direct removal or indirect lowering of the groundwater table? | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Introduction of new vegetation that will require excessive fertilizer or water, or will provide a barrier to the normal replenishment of existing species?                 | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Change in the diversity or distribution of species, or number of any species of plants (including trees, shrubs, grass, crops, micro flora, and aquatic plants)?           | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Reduction of the numbers of any unique, rare, or endangered species of plants?   | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Removal of stream bank and/or backshore vegetation, including woody vegetation such as willows?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| g. Removal of any native live, dead or dying trees 30 inches or greater in diameter at breast height (dbh) within TRPA's Conservation or Recreation land use classifications? | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> | <input type="radio"/> |
| h. A change in the natural functioning of an old growth ecosystem?  | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

**Discussion**

The project is proposing to remove two 48" pines and one 30" fir. Both 48" trees are classified as old growth. One of the trees appears to be dying.

Removal is required for public safety. Both old growth trees are located within the 30-foot wide easement area. Designing the bridge to not impact the trees does not appear feasible. Retaining trees with severed roots would undermine tree stability and pose an unacceptable risk to the bridge and people in the area. Findings for tree removal can be met.

The project area and surrounding lands are heavily forested and there are many other old growth trees along both river banks, in the project area, and on nearby land. Therefore the removal of these 2 trees will not adversely affect the old growth threshold.



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## 5. Wildlife

Current and historic status of special interest species standards can be found at the links below:

- [Special Interest Species](#)

Current and historic status of the fisheries standards can be found at the links below:

- [Instream Flow](#)
- [Lake Habitat](#)
- [Stream Habitat](#)

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Change in the diversity or distribution of species, or numbers of any species of animals (birds, land animals including reptiles, fish and shellfish, benthic organisms, insects, mammals, amphibians or microfauna)? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Reduction of the number of any unique, rare or endangered species of animals?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Introduction of new species of animals into an area, or result in a barrier to the migration or movement of animals?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Deterioration of existing fish or wildlife habitat quantity or quality?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

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## 6. Noise

Current and historic status of the noise standards can be found at the links below:

- [Cumulative Noise Events](#)
- [Single Noise Events](#)

Will the proposal result in:

|  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Increases in existing Community Noise Equivalency Levels (CNEL) beyond those permitted in the applicable Area Plan, Plan Area Statement, Community Plan or Master Plan? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Exposure of people to severe noise levels?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Single event noise levels greater than those set forth in the TRPA Noise Environmental Threshold?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. The placement of residential or tourist accommodation uses in areas where the existing CNEL exceeds 60 dBA or is otherwise incompatible?                                | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. The placement of uses that would generate an incompatible noise level in close proximity to existing residential or tourist accommodation uses?                         | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Exposure of existing structures to levels of ground vibration that could result in structural damage?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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## 7. Light and Glare

Will the proposal:

|   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Include new or modified sources of exterior lighting?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Create new illumination which is more substantial than other lighting, if any, within the surrounding area?    | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Cause light from exterior sources to be cast off -site or onto public lands?                                   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Create new sources of glare through the siting of the improvements or through the use of reflective materials? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

## 8. Land Use

Will the proposal:

|  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Include uses which are not listed as permissible uses in the applicable Area Plan, Plan Area Statement, adopted Community Plan, or Master Plan? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Expand or intensify an existing non-conforming use?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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 Stateline, NV 89449-5310

**Location**  
 128 Market Street  
 Stateline, NV 89449

**Contact**  
 Phone: 775-588-4547  
 Fax: 775-588-4527  
 www.trpa.gov

## 9. Natural Resources

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. A substantial increase in the rate of use of any natural resources? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Substantial depletion of any non-renewable natural resource?        | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

## 10. Risk of Upset

Will the proposal:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Involve a risk of an explosion or the release of hazardous substances including, but not limited to, oil, pesticides, chemicals, or radiation in the event of an accident or upset conditions? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Involve possible interference with an emergency evacuation plan?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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## 11. Population

Will the proposal:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Alter the location, distribution, density, or growth rate of the human population planned for the Region? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Include or result in the temporary or permanent displacement of residents?                                | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

## 12. Housing

Will the proposal:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Affect existing housing, or create a demand for additional housing?<br><i>To determine if the proposal will affect existing housing or create a demand for additional housing, please answer the following questions:</i> |                       |                                  |                       |                       |
| 1. Will the proposal decrease the amount of housing in the Tahoe Region?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| 2. Will the proposal decrease the amount of housing in the Tahoe Region historically or currently being rented at rates affordable by lower and very-low-income households?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion





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### 13. Transportation / Circulation

Will the proposal result in:

|   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Generation of 650 or more new average daily Vehicle Miles Travelled?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Changes to existing parking facilities, or demand for new parking?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Substantial impact upon existing transportation systems, including highway, transit, bicycle or pedestrian facilities? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Alterations to present patterns of circulation or movement of people and/or goods?                                     | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Alterations to waterborne, rail or air traffic?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Increase in traffic hazards to motor vehicles, bicyclists, or pedestrians?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

**Discussion**



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## 14. Public Services

Will the proposal have an unplanned effect upon, or result in a need for new or altered governmental services in any of the following areas?:

|   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Fire protection?                                   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Police protection?                                 | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Schools?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Parks or other recreational facilities?            | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Maintenance of public facilities, including roads? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Other governmental services?                       | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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## 15. Energy

Will the proposal result in:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Use of substantial amounts of fuel or energy?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Substantial increase in demand upon existing sources of energy, or require the development of new sources of energy? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

**Discussion:**

## 16. Utilities

Except for planned improvements, will the proposal result in a need for new systems, or substantial alterations to the following utilities:

- |   | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|---|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Power or natural gas?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Communication systems?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Utilize additional water which amount will exceed the maximum permitted capacity of the service provider?                              | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Utilize additional sewage treatment capacity which amount will exceed the maximum permitted capacity of the sewage treatment provider? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Storm water drainage?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| f. Solid waste and disposal?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

**Discussion**

## 17. Human Health

Will the proposal result in:

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Creation of any health hazard or potential health hazard (excluding mental health)? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Exposure of people to potential health hazards?                                     | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

## 18. Scenic Resources / Community Design

Current and historic status of the scenic resources standards can be found at the links below:

- [Built Environment](#)
- [Other Areas](#)
- [Roadway and Shoreline Units](#)

Will the proposal:

- |   | Yes                              | No                    | No, with mitigation              | Data insufficient     |
|---|----------------------------------|-----------------------|----------------------------------|-----------------------|
| a. Be visible from any state or federal highway, Pioneer Trail or from Lake Tahoe?  | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| b. Be visible from any public recreation area or TRPA designated bicycle trail?   | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| c. Block or modify an existing view of Lake Tahoe or other scenic vista seen from a public road or other public area?       | <input type="radio"/>            | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> |
| d. Be inconsistent with the height and design standards required by the applicable ordinance, Community Plan, or Area Plan? | <input type="radio"/>            | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> |
| e. Be inconsistent with the TRPA Scenic Quality Improvement Program (SQIP) or Design Review Guidelines?                     | <input type="radio"/>            | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> |

### Discussion

The proposed bridge expansion is visible from Highway 89 and the TCPUD bike trail. The replacement bridge is a clear span structure constructed with weathered steel bridge beams, wood guard rails, and concealed utility conduit. The project is in conformance with applicable scenic highway standards.

The bridge design is a scenic improvement compared to the old bridge. The three bridge support structures within the river are removed, concealed conduit is provided for future utilities, and the clear-span over the river and it's flood plain will improve views of the river. For these reasons, the project will not impact TRPA's scenic threshold standards.



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## 19. Recreation

Current and historic status of the recreation standards can be found at the links below:

- [Fair Share Distribution of Recreation Capacity](#)
- [Quality of Recreation Experience and Access to Recreational Opportunities](#)

Will the proposal:

- |   | Yes                   | No                               | No, with mitigation              | Data insufficient     |
|---|-----------------------|----------------------------------|----------------------------------|-----------------------|
| a. Create additional demand for recreation facilities?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| b. Create additional recreation capacity?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| c. Have the potential to create conflicts between recreation uses, either existing or proposed? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/>            | <input type="radio"/> |
| d. Result in a decrease or loss of public access to any lake, waterway, or public lands?        | <input type="radio"/> | <input type="radio"/>            | <input checked="" type="radio"/> | <input type="radio"/> |

### Discussion

A construction management plan will be coordinated with the Tahoe City PUD to minimize and mitigate any impacts on public recreation in the river corridor. The bike trail will remain open at all times.

The increased clearance over the river and clear-span design over the river and flood plain mitigate any potential potential loss of public access to the Truckee River.



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## 20. Archaeological / Historical

Will the proposal result in:

|  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. An alteration of or adverse physical or aesthetic effect to a significant archaeological or historical site, structure, object or building?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Is the proposed project located on a property with any known cultural, historical, and/or archaeological resources, including resources on TRPA or other regulatory official maps or records? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Is the property associated with any historically significant events and/or sites or persons?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Does the proposal have the potential to cause a physical change which would affect unique ethnic cultural values?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| e. Will the proposal restrict historic or pre-historic religious or sacred uses within the potential impact area?  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion

The previously existing bridge was deemed to be "Not Historic." and has been removed under an emergency permit.



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## 21. Findings of Significance

- |  | Yes                   | No                               | No, with mitigation   | Data insufficient     |
|--|-----------------------|----------------------------------|-----------------------|-----------------------|
| a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal or eliminate important examples of the major periods of California or Nevada history or prehistory? | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| b. Does the project have the potential to achieve short-term, to the disadvantage of long-term, environmental goals? (A short-term impact on the environment is one which occurs in a relatively brief, definitive period of time, while long-term impacts will endure well into the future.)  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| c. Does the project have impacts which are individually limited, but cumulatively considerable? (A project may impact on two or more separate resources where the impact on each resource is relatively small, but where the effect of the total of those impacts on the environmental is significant?)  | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |
| d. Does the project have environmental impacts which will cause substantial adverse effects on human being, either directly or indirectly?   | <input type="radio"/> | <input checked="" type="radio"/> | <input type="radio"/> | <input type="radio"/> |

### Discussion



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**DECLARATION:**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

Signature:

|                              |    |                |        |
|------------------------------|----|----------------|--------|
| Alyson Borawski              | at | Douglas County | 2/8/24 |
| Person preparing application |    | County         | Date   |

**Applicant Written Comments:** (Attach additional sheets if necessary)





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**Determination:**

**On the basis of this evaluation:**

- a. The proposed project could not have a significant effect on the environment and a finding of no significant effect shall be prepared in accordance with TRPA's Rules of Procedure  YES  NO
- b. The proposed project could have a significant effect on the environment, but due to the listed mitigation measures which have been added to the project, could have no significant effect on the environment and a mitigated finding of no significant effect shall be prepared in accordance with TRPA's Rules and Procedures.  YES  NO
- c. The proposed project may have a significant effect on the environment and an environmental impact statement shall be prepared in accordance with this chapter and TRPA's Rules of Procedures.  YES  NO

Date

\_\_\_\_\_  
 Signature of Evaluator  
  
 \_\_\_\_\_  
 Title of Evaluator

Attachment D  
Draft Project Area Deed Restriction for Land Coverage

**RECORDING REQUESTED BY:**

Tahoe Regional Planning Agency  
Post Office Box 5310  
Stateline, Nevada 89449

**WHEN RECORDED MAIL TO:**

Tahoe Regional Planning Agency  
Post Office Box 5310  
Stateline, Nevada 89449  
Attn: Aly Borawski, Principal Planner  
TRPA File No. LLAD2023-0208

---

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS  
FOR PROJECT AREA FOR COVERAGE PURPOSES (“DEED RESTRICTION”)  
TO BE RECORDED AGAINST APNS 095-130-014, 095-130-012, 095-130-013 & 095-140-023**

This Deed Restriction is made this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Luke Emard (hereinafter “Declarant”).

**RECITALS**

- 1. Declarant is the owner of certain real property located in Placer County, State of California, described as follows:

APNs: 095-130-012-000, 095-130-013-000, 095-130-014-000 and 095-140-023-000

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE UNINCORPORATED AREA IN COUNTY OF PLACER. STATE OF CALIFORNIA AND IS DE SCRIBED AS FOLLOWS:

**RESULTANT PARCEL 1:**

A PORTION OF THE LAND CONVEYED TO RADIN-CRAMER REVOCABLE TRUST, IN DOCUMENT NO. 2011-0062467, OFFICIAL RECORDS OF PLACER COUNTY, BIEING A PORTION OF LOT 64, BLOCK F, AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK 8 OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA, SAID PARCEL BEING LOCATED IN SECTION 11, TOWNSHIP 15 NORTH, RANGE 16 EAST, M.D.B.&M., AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE WESTERLY CORNER OF SAID LOT 64, BLOCK F. AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA; THENCE FROM SAID POINT OF BEGINNING THE FOLLOWING (4) FOUR COURSES:

- 1) NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT 64, NORTH 41° 44' 50” EAST, 404.00 FEET, TO THE NORTHERLY CORNER OF SAID LOT 64:
- 2) SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 64, SOUTH 49° 26' 21" EAST, 100.00 FEET;

- 3) DEPARTING SAID NORTHEASTERLY LINE OF SAID LOT 64. SOUTH 41° 48' 11" WEST, 397.05 FEET, TO THE SOUTHWESTERLY LINE OF SAID LOT 64;
- 4) NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 64, NORTH 53° 25' 40" WEST. 100.00 FEET. MORE OR LESS TO THE POINT OF BEGINNING.

BASIS OF BEARINGS OF THIS LEGAL DESCRIPTION IS IDENTICAL TO RECORD OF SURVEY #1204, AS FILED IN BOOK 10 OF SURVEYS AT PAGE 114 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA.

THE BEARINGS AND DISTANCES DESCRIBED HEREIN USED ALONG THE BOUNDARY OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 2011-0062467 ARE NOT BASED UPON A FIELD SURVEY AS DESCRIBED IN L.S. ACT SECTION 8762. THEY DO NOT ESTABLISH THE BOUNDARY OF SAID PROPERTY AND ARE INCLUDED TO ASSIST IN LOCATING THE NEW BOUNDARY APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126 ONLY.

THE ABOVE DESCRIPTION ENCOMPASSES ONE PARCEL OF LAND AS APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126.

RESULTANT PARCEL 2:

A PORTION OF THE LAND CONVEYED TO RADIN-CRAMER REVOCABLE TRUST, IN DOCUMENT NO. 2011-0062467, OFFICIAL RECORDS OF PLACER COUNTY, BEING LOT 66 AND A PORTION OF LOTS 64 AND 68. BLOCK F. AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA, SAID PARCEL BEING LOCATED IN SECTION 11, TOWNSHIP 15 NORTH, RANGE 16 EAST, M.D.B.&M., AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHERLY CORNER OF SAID LOT 68, BLOCK F, AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK 8 OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA; THENCE FROM SAID POINT OF BEGINNING THE FOLLOWING (8) EIGHT COURSES:

- 1) SOUTHEASTERLY ALONG THE NORTHERLY LINE OF SAID LOT 68, SOUTH 52° 44' 40" EAST, 119.31 FEET;
- 2) DEPARTING SAID NORTHEASTERLY LINE OF SAID LOT 68. SOUTH 14° 24' 18" WEST., 416.28 FEET, TO THE SOUTHWESTERLY LINE OF SAID LOT 68;
- 3) NORTHWESTERLY ALONG THE SOUTHERLY LINE OF SAID LOT 68, NORTH 53° 25' 40" WEST, 227.59 FEET TO THE WESTERLY CORNER OF SAID LOT 68;
- 4) NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 66, NORTH 53° 25' 40" WEST, 349.99 FEET, TO THE WESTERLY CORNER OF SAID LOT 66;
- 5) NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 64, NORTH 53° 25' 40" WEST 202.04 FEET;
- 6) DEPARTING SAID SOUTHWESTERLY LINE OF SAID LOT 64, NORTH 41° 48' 11" EAST, 397.05 FEET, TO THE NORTHEASTERLY LINE OF SAID LOT 64;
- 7) SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 64, SOUTH 49° 26' 21" EAST, 201.54 FEET, TO THE EASTERLY CORNER OF SAID LOT 64;
- 8) SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 66, SOUTH 54° 27' 04" EAST. 311.05 FEET, TO THE EASTERLY CORNER OF SAID LOT 66. MORE OR LESS TO THE POINT OF BEGINNING.

BASIS OF BEARINGS OF THIS LEGAL DESCRIPTION IS IDENTICAL TO RECORD OF SURVEY #1204, AS FILED IN BOOK 10 OF SURVEYS AT PAGE 114 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA.

THE BEARINGS AND DISTANCES DESCRIBED HEREIN USED ALONG THE BOUNDARY OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 2011-0062467 ARE NOT BASED UPON A FIELD SURVEY AS DESCRIBED IN L.S. ACT SECTION 8762. THEY DO NOT ESTABLISH THE BOUNDARY OF SAID PROPERTY AND ARE INCLUDED TO ASSIST IN LOCATING THE NEW BOUNDARY APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126 ONLY.

THE ABOVE DESCRIPTION ENCOMPASSES ONE PARCEL OF LAND AS APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126.

RESULTANT PARCEL 3:

A PORTION OF THE LAND CONVEYED TO RADIN-CRAMER REVOCABLE TRUST, IN DOCUMENT NO. 2011-0062467, OFFICIAL RECORDS OF PLACER COUNTY, BEING A PORTION OF LOTS 68 AND 70, BLOCK F, AS SHOWN ON THE TAHOE TRUCKEE FOREST. AS FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA. SAID PARCEL BEING LOCATED IN SECTION 11, TOWNSHIP 15 NORTH, RANGE 16 EAST. M.D,B.&M., AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWESTERLY CORNER OF SAID LOT 70, BLOCK F. AS SHOWN ON THE TAHOE TRUCKEE FOREST, P.S FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA; THENCE FROM SAID POINT OF BEGINNING THE FOLLOWING (9) NINE COURSES:

- 1) NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID LOT 70, NORTH 83° 41' 04" EAST, 186.60 FEET;
- 2) DEPARTING SAID NORTHEASTERLY LINE OF SAID LOT 70, SOUTH 14° 18' 20" WEST, 20.24 FEET;
- 3) SOUTH 56° 19' 30" WEST, 118.00 FEET;
- 4) SOUTH 14° 18' 20" WEST, 205.73 FEET;
- 5) SOUTH 80° 51' 20" WEST, 100.10 FEET;
- 6) SOUTH 48° 23' 52" WEST, 120.61 FEET, TO THE SOUTHWESTERLY LINE OF SAID LOT 68;
- 7) NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 68, NORTH 53° 25' 40" WEST, 150.77 FEET;
- 8) DEPARTING SAID SOUTHWESTERLY LINE OF SAID LOT 68, NORTH 14° 24' 18" EAST, 416.28 FEET, TO THE NORTHEASTERLY LINE OF SAID LOT 68;
- 9) SOUTHEASTERLY ALONG THE NORTHEASTERLY LINE OF SAID LOT 68, SOUTH 52° 44' 40" EAST, 220.00 FEET, TO THE EASTERLY CORNER OF SAID LOT 68, MORE OR LESS TO THE POINT OF BEGINNING.

BASIS OF BEARINGS OF THIS LEGAL DESCRIPTION IS IDENTICAL TO RECORD OF SURVEY #1204, AS FILED IN BOOK 10 OF SURVEYS AT PAGE 114 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA. THE BEARINGS AND DISTANCES DESCRIBED HEREIN USED ALONG THE BOUNDARY OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 2011-0062467 ARE NOT BASED UPON A FIELD SURVEY AS DESCRIBED IN L.S. ACT SECTION 8762. THEY DO NOT ESTABLISH THE BOUNDARY OF SAID

PROPERTY AND ARE INCLUDED TO ASSIST IN LOCATING THE NEW BOUNDARY APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126 ONLY.

THE ABOVE DESCRIPTION ENCOMPASSES ONE PARCEL OF LAND AS APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126.

RESULTANT PARCEL 4:

A PORTION OF THE LAND CONVEYED TO RADIN-CRAMER REVOCABLE TRUST, IN DOCUMENT NO. 2011-0062467, OFFICIAL RECORDS OF PLACER COUNTY, BEING A PORTION OF LOTS 68 AND 70, BLOCK F, AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA, SAID PARCEL BEING LOCATED IN SECTION 11, TOWNSHIP 15 NORTH, RANGE 16 EAST, M.D.B.&M., AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHERLY CORNER OF SAID LOT 68, BLOCK F, AS SHOWN ON THE TAHOE TRUCKEE FOREST, AS FILED IN BOOK B OF MAPS AT PAGE 7 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA; THENCE FROM SAID POINT OF BEGINNING THE FOLLOWING (7) SEVEN COURSES:

- 1) NORTHWESTERLY ALONG THE SOUTHWESTERLY LINE OF SAID LOT 68, NORTH 53° 25' 40" WEST, 68.14 FEET;
- 2) DEPARTING SAID SOUTHWESTERLY LINE OF SAID LOT 68, NORTH 48° 23' 52" EAST, 120.61 FEET;
- 3) NORTH 80° 51' 20" EAST, 100.10 FEET;
- 4) NORTH 14° 18' 20" EAST, 205.73 FEET;
- 5) NORTH 56° 19' 30" EAST, 118.00 FEET;
- 6) SOUTH 14° 18' 20" EAST, 382.86 FEET, TO THE SOUTHEASTERLY LINE OF SAID LOT 70;
- 7) SOUTHWESTERLY ALONG THE SOUTHEASTERLY LINE OF SAID LOT 70. SOUTH 80° 51' 20" WEST, 191.15 FEET. MORE OR LESS TO THE POINT OF BEGINNING.

BASIS OF BEARINGS OF THIS LEGAL DESCRIPTION IS IDENTICAL TO RECORD OF SURVEY #1204, AS FILED IN BOOK 10 OF SURVEYS AT PAGE 114 OFFICIAL RECORDS OF PLACER COUNTY, CALIFORNIA. THE BEARINGS AND DISTANCES DESCRIBED HEREIN USED ALONG THE BOUNDARY OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 201 1-0062467 ARE NOT BASED UPON A FIELD SURVEY AS DESCRIBED IN L.S. ACT SECTION 8762. THEY DO NOT ESTABLISH THE BOUNDARY OF SAID PROPERTY AND ARE INCLUDED TO ASSIST IN LOCATING THE NEW BOUNDARY APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126 ONLY.

THE ABOVE DESCRIPTION ENCOMPASSES ONE PARCEL OF LAND AS APPROVED BY MINOR BOUNDARY LINE ADJUSTMENT NO. PLN17-00126.

PURSUANT TO MINOR BOUNDARY LINE ADJUSTMENT NO. MBR NO. PLN17-00126 AND AS SET FORTH IN THE CERTAIN DOCUMENT RECORDED AUGUST 31, 2017, AS DOCUMENT NO. 2017-0067639, OFFICIAL RECORDS,.

The above legal descriptions were recorded on January 5, 2023 as Document No. 2023-0000469-00.

Parcels 095-130-014, 095-130-012, 095-130-013 & 095-140-023 are hereinafter collectively referred to as the "Property."

2. The Property is located in the Tahoe Region as described in the Tahoe Regional Planning Compact (P.L. 96-551, Stat. 3233, 1980), which region is subject to the regional plan and the ordinances adopted by the Tahoe Regional Planning Agency (hereafter "TRPA") pursuant to the Tahoe Regional Planning Compact.
3. Declarant received approval from the TRPA Hearings Officer on February 15, 2024 for a bridge replacement permit (ERSP2023-0208), subject to certain conditions contained on said approval, including a condition that Declarants record a deed restriction permanently assuring that the coverage calculations for the parcels within the project area shall always be made as if they had been legally consolidated.
4. As a condition of the above approval, Chapter 30, Land Coverage, Section 30.4.1.C.2.a.iii. of the TRPA Code of Ordinances, requires that the parcels within the above project area be treated as if legally consolidated for the purpose of future land coverage calculations within the project area.

#### **DECLARATIONS**

1. Declarant hereby declares that the Property identified herein shall always be treated as if the parcels had been legally consolidated for the purposes of land coverage calculations within the project area, and the applying TRPA ordinances pertaining to land coverage.
2. This Deed Restriction shall be deemed a covenant running with the land, or an equitable servitude, as the case may be, and shall be binding on the Declarants and Declarants' assigns, and all persons acquiring or owning any interest in the property.
3. This Deed Restriction may not be modified or revoked without the prior express written and recorded consent of the TRPA or its successor agency, if any. TRPA shall be deemed and agreed to be a third-party beneficiary of this Deed Restriction, and as such, can enforce the provisions of this Deed Restriction.

///  
///  
///

IN WITNESS WHEREOF, Declarants have executed this Deed Restriction this the day and year written above.

Declarants' Signature:

\_\_\_\_\_  
Luke Emard  
Owner

Dated: \_\_\_\_\_

*A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.*

STATE OF )  
 ) SS.  
COUNTY OF )

On \_\_\_\_\_ before me, \_\_\_\_\_ a Notary Public, personally appeared \_\_\_\_\_, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Nevada that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_

Name: \_\_\_\_\_



APPROVED AS TO FORM:

Dated: \_\_\_\_\_

\_\_\_\_\_  
Aly Borawski, Principal Planner  
Tahoe Regional Planning Agency

*A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.*

STATE OF NEVADA        )  
  ) SS.  
COUNTY OF DOUGLAS )

On \_\_\_\_\_ before me, \_\_\_\_\_ a Notary Public,  
personally appeared \_\_\_\_\_,  
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are  
subscribed to the within instrument and acknowledged to me that he/she/they executed the same in  
his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the  
person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of Nevada that the foregoing paragraph  
is true and correct.

WITNESS my hand and official seal.

Signature: \_\_\_\_\_

Name: \_\_\_\_\_

Attachment E  
Preliminary Plans

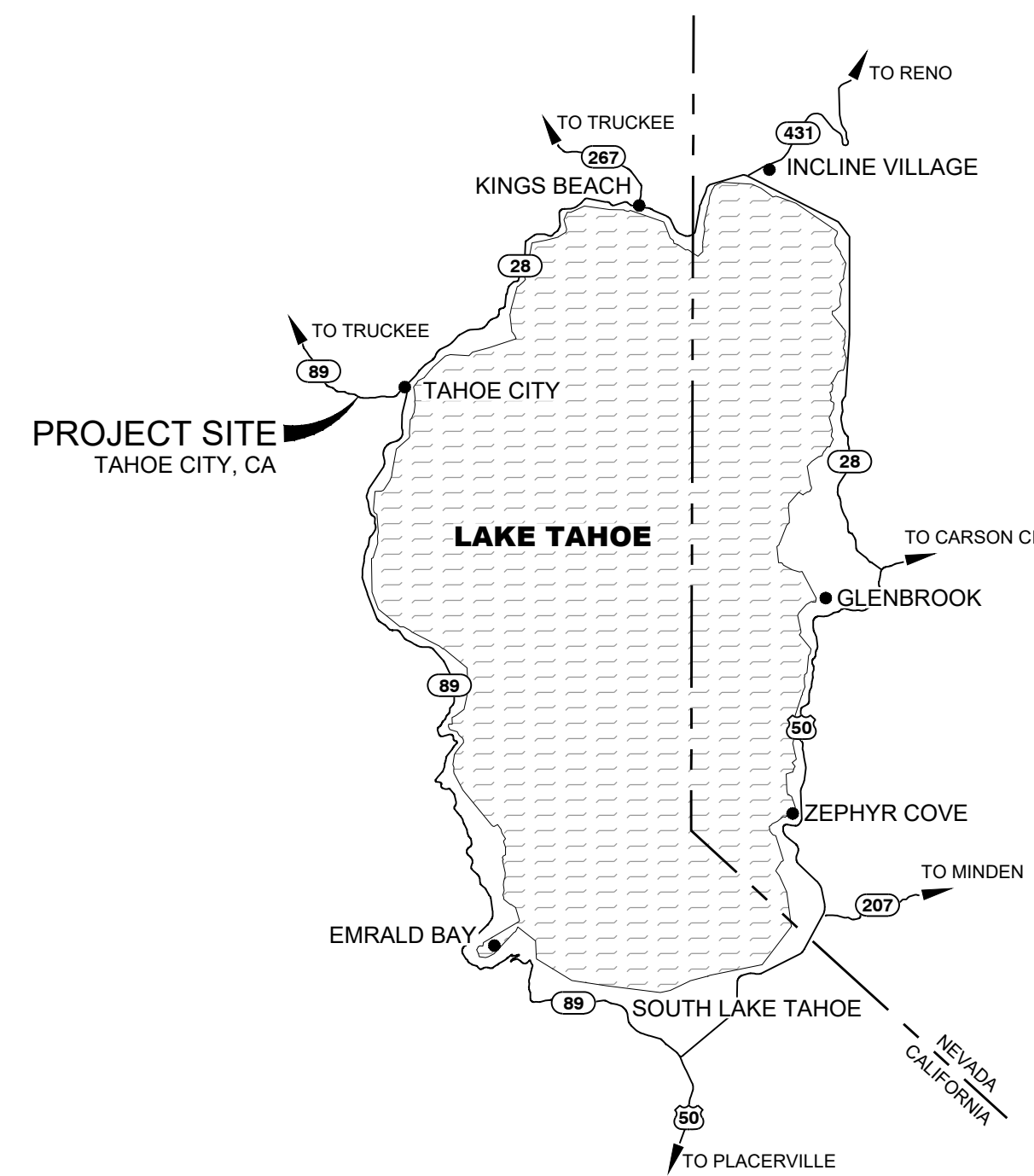
# SKYWALKER INVESTMENTS, INC.

# 1615 RIVER ROAD BRIDGE REPLACEMENT

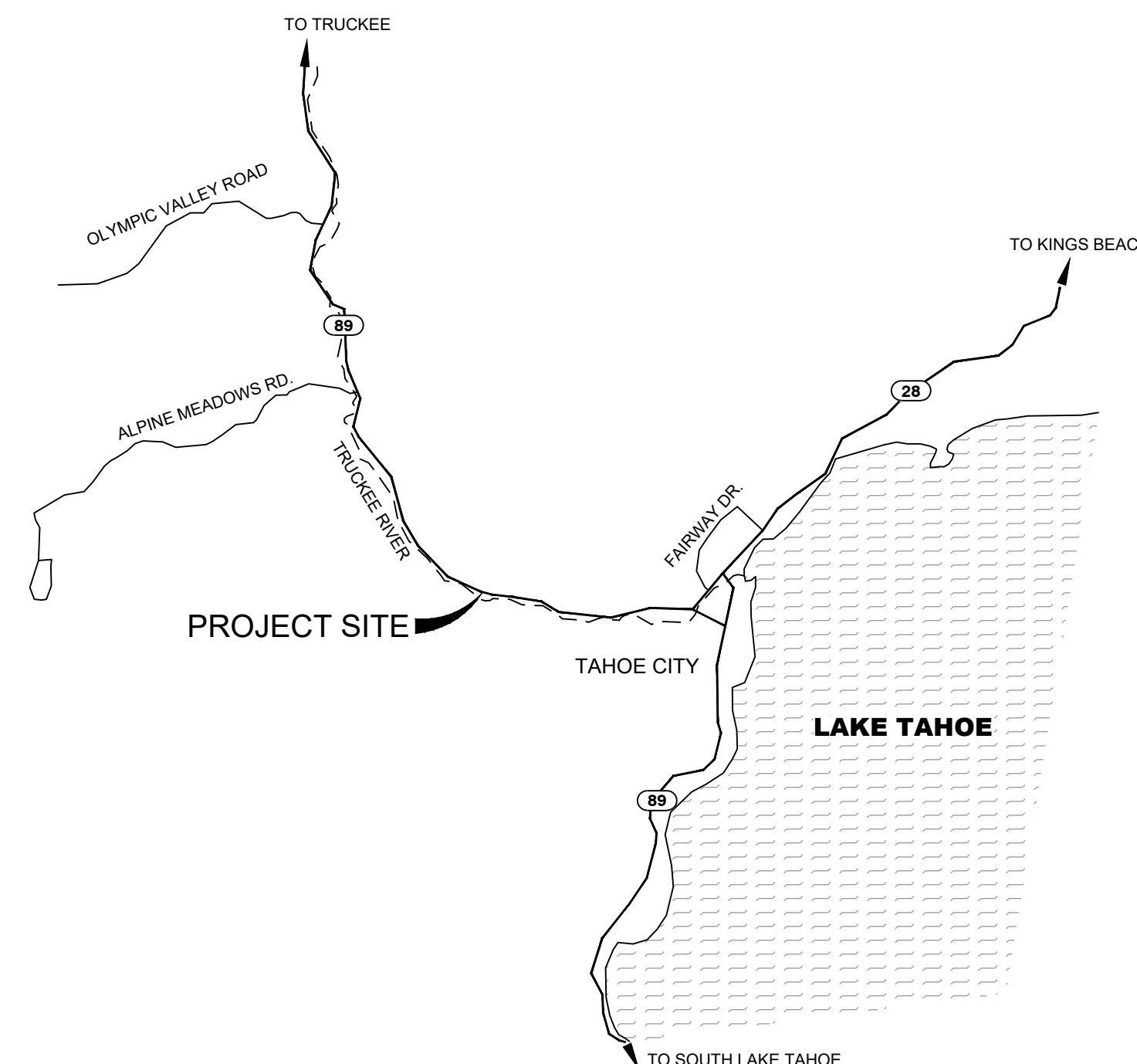


950 SANDHILL ROAD, SUITE 100  
RENO, NV 89521  
TEL: 775.827.6111  
WWW.LUMOSINC.COM  
INFO@LUMOSINC.COM

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**LOCATION MAP**



**VICINITY MAP**

**OWNER/DEVELOPER**

**SKYWALKER INVESTMENTS, INC.**  
**ATTN: LUKE EMARD**  
**198 LEWIS COURT**  
**CORONA, CA 92882**  
**TEL.: 949.337.1950**

**ENGINEER**

**950 SANDHILL ROAD, SUITE 100**  
**RENO, NEVADA 89521**  
**TEL: 775.827.6111**  
**INFO@LUMOSINC.COM**



Know what's below.  
Call before you dig.

**BASIS OF BEARING**

THE BASIS OF BEARINGS FOR THIS SURVEY IS CALIFORNIA STATE PLANE COORDINATE SYSTEM, ZONE 2 NAD83(2007) BASED UPON GPS OBSERVATIONS, SCALED FROM 0.00N, 0.00E AND CONVERTED TO U.S. SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

**BASIS OF ELEVATION**

DATUM: NAVD 88  
PROJECT BENCHMARK = LUMOS CP# 500 AS DETERMINED BY STATIC OBSERVATION PROCESSED BY O.P.U.S. HAVING AN ELEVATION OF 6205.33 FT

**SHEET INDEX:**

|                                       |        |
|---------------------------------------|--------|
| TITLE SHEET                           | C1.0   |
| NOTES, ABBREVIATIONS AND LEGEND       | C1.1   |
| OVERALL EXISTING SITE PLAN            | C2.0   |
| OVERALL PROPOSED SITE PLAN            | C2.1   |
| DEMO & BMP PLAN                       | C3.0   |
| SITE PLAN                             | C4.0   |
| GRADING PLAN                          | C4.1   |
| DETAILS                               | C5.0   |
| DETAILS                               | C5.1   |
| STRUCTURAL NOTES                      | S0.1   |
| STRUCTURAL NOTES & SPECIAL INSPECTION | S0.1.1 |
| TYPICAL CONCRETE DETAILS              | S0.2   |
| ABUTMENT FOUNDATION PLANS             | S1.0   |
| ABUTMENT SECTIONS                     | S1.1   |

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**PERMIT SUBMITTAL**

DECEMBER 2023

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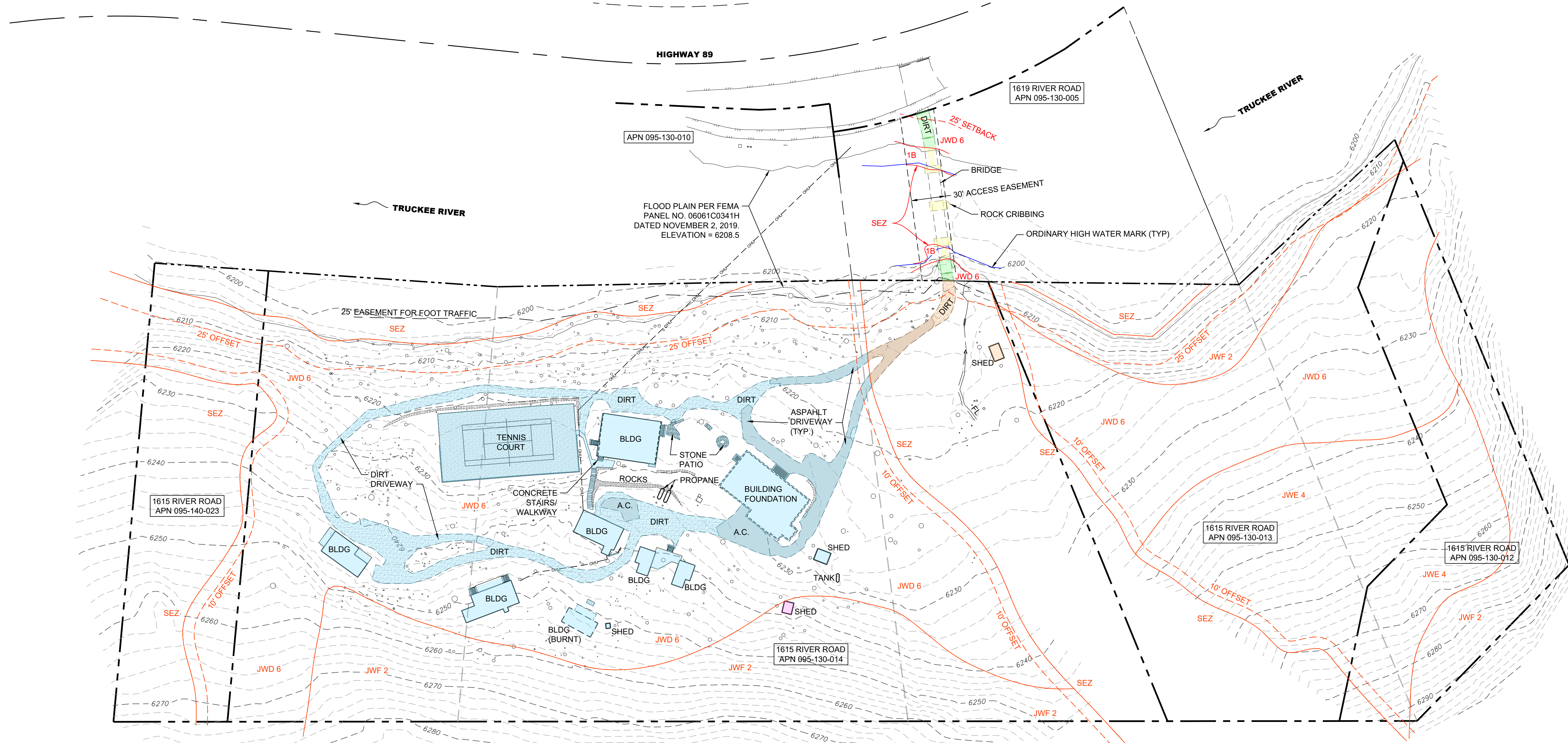
SKYWALKER INVESTMENTS, INC.  
**1615 RIVER ROAD  
BRIDGE REPLACEMENT  
TITLE SHEET**  
PLACER COUNTY  
TAHOE CITY  
CALIFORNIA





12/12/2023

SKYWALKER INVESTMENTS, INC.  
**1615 RIVER ROAD  
BRIDGE REPLACEMENT  
OVERALL EXISTING SITE PLAN**  
TAHOE CITY PLACER COUNTY CALIFORNIA



**ALLOWABLE COVERAGE**

| ALLOWABLE COVERAGE (EASEMENT AREA) |       |                   |                 |
|------------------------------------|-------|-------------------|-----------------|
| LAND CAPABILITY                    | AREA  | PERCENT ALLOWABLE | TOTAL ALLOWABLE |
| ZONE 1B                            | 3,148 | 1%                | 31              |
| ZONE 6                             | 1,282 | 30%               | 385             |

| ALLOWABLE COVERAGE (PROJECT AREA) |         |                   |                 |
|-----------------------------------|---------|-------------------|-----------------|
| LAND CAPABILITY                   | AREA    | PERCENT ALLOWABLE | TOTAL ALLOWABLE |
| ZONE 1B                           | 111,372 | 1%                | 1,114           |
| ZONE 2                            | 80,605  | 1%                | 806             |
| ZONE 4                            | 49,556  | 20%               | 9,911           |
| ZONE 6                            | 235,012 | 30%               | 70,504          |

**VERIFIED COVERAGE**

| VERIFIED COVERAGE (EASEMENT AREA)        |            |            |
|--|------------|------------|
|  | CLASS 1B   | CLASS 6    |
| BRIDGE & SILLS (WITH 3:1 TRPA REDUCTION) | 510        | 213        |
| CRIBBING                                 | 108        | -          |
| COMPACTED DIRT                           | -          | 303        |
| CONCRETE                                 | -          | 26         |
| <b>TOTAL COVERAGE</b>                    | <b>618</b> | <b>542</b> |

| VERIFIED COVERAGE (EASEMENT AREA)<br>(OVERHEAD RIVER COVERAGE REMOVED) |            |            |
|--|------------|------------|
|  | CLASS 1B   | CLASS 6    |
| BRIDGE & SILLS (WITH 3:1 TRPA REDUCTION)*                              | 340        | 213        |
| CRIBBING   | 108        | -          |
| COMPACTED DIRT   | -          | 303        |
| CONCRETE   | -          | 26         |
| <b>TOTAL COVERAGE</b>  | <b>448</b> | <b>542</b> |

| VERIFIED COVERAGE (PROJECT AREA)                   |              |           |          |               |
|--|--------------|-----------|----------|---------------|
|  | CLASS 1B     | CLASS 2   | CLASS 4  | CLASS 6       |
| ASPHALT DRIVE                                      | 816          | -         | -        | 5,343         |
| BUILDINGS  | -            | -         | -        | 5,095         |
| BUILDING FOUNDATION WITH BASEMENT                  | -            | -         | -        | 3,156         |
| BUILDING REMAINS (BURNT)                           | -            | -         | -        | 403           |
| COMPACTED DIRT DRIVE                               | 454          | -         | -        | 11,063        |
| CONCRETE PADS, STEPS, AND WALKS                    | -            | -         | -        | 483           |
| DECKS AND STAIRS (WITH 3:1 TRPA REDUCTION)         | -            | -         | -        | 633           |
| DECKS AND STAIRS (BURNT) (WITH 3:1 TRPA REDUCTION) | -            | -         | -        | 116           |
| SHEDS  | 126          | 85        | -        | 142           |
| STAIRS (WITH NO 3:1 TRPA REDUCTION)                | -            | -         | -        | 134           |
| STONE WALKS/PATIOS                                 | -            | -         | -        | 204           |
| TENNIS COURT                                       | -            | -         | -        | 7,145         |
| WALLS  | -            | -         | -        | 165           |
| <b>TOTAL COVERAGE</b>                              | <b>1,396</b> | <b>85</b> | <b>0</b> | <b>34,082</b> |

**VERIFIED COVERAGE CALCULATIONS**

| EASEMENT AREA   |          |           |           |
|-----------------|----------|-----------|-----------|
| LAND CAPABILITY | VERIFIED | ALLOWABLE | REMAINING |
| ZONE 1B         | 448      | 31        | -417      |
| ZONE 6          | 542      | 385       | -157      |

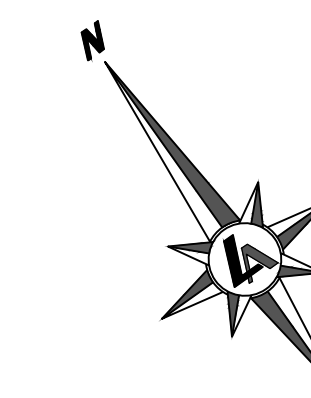
| PROJECT AREA    |          |           |           |
|-----------------|----------|-----------|-----------|
| LAND CAPABILITY | VERIFIED | ALLOWABLE | REMAINING |
| ZONE 1B         | 1,396    | 1,114     | -282      |
| ZONE 2          | 85       | 806       | 721       |
| ZONE 4          | 0        | 9,911     | 9,911     |
| ZONE 6          | 34,082   | 70,504    | 36,422    |

**LEGEND**

- LANDCLASS (EASEMENT AREA)
- LANDCLASS (PROJECT AREA)
- ZONE 1B VERIFIED (EASEMENT AREA)
- ZONE 6 VERIFIED (EASEMENT AREA)
- ZONE 1B VERIFIED (PROJECT AREA)
- ZONE 2 VERIFIED (PROJECT AREA)
- ZONE 6 VERIFIED (PROJECT AREA)

**NOTES**

- BRIDGE COVERAGE REMOVED FROM VERIFIED SQUARE FOOTAGE FOR OVERHEAD COVERAGE WITHIN THE ORDINARY HIGH WATER MARK.
- CRIBBING AND BRIDGE COVERAGE MAINTAINED WHERE THE CRIBBINGS WERE IN CONTACT WITH THE RIVERBED AT THE TIME OF THE COVERAGE VERIFICATION.
- THE ORDINARY HIGH WATER MARK WAS STAKED BY RESOURCE CONCEPTS INC. (RCI) ON OCTOBER 7, 2021.



0 50' 100'  
22x34 SHEETS: 1" = 50'  
11x17 SHEETS: 1" = 100'

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12/12/2023

SKYWALKER INVESTMENTS, INC.  
**1615 RIVER ROAD  
BRIDGE REPLACEMENT  
OVERALL PROPOSED SITE PLAN**  
PLACER COUNTY  
TAHOE CITY  
CALIFORNIA

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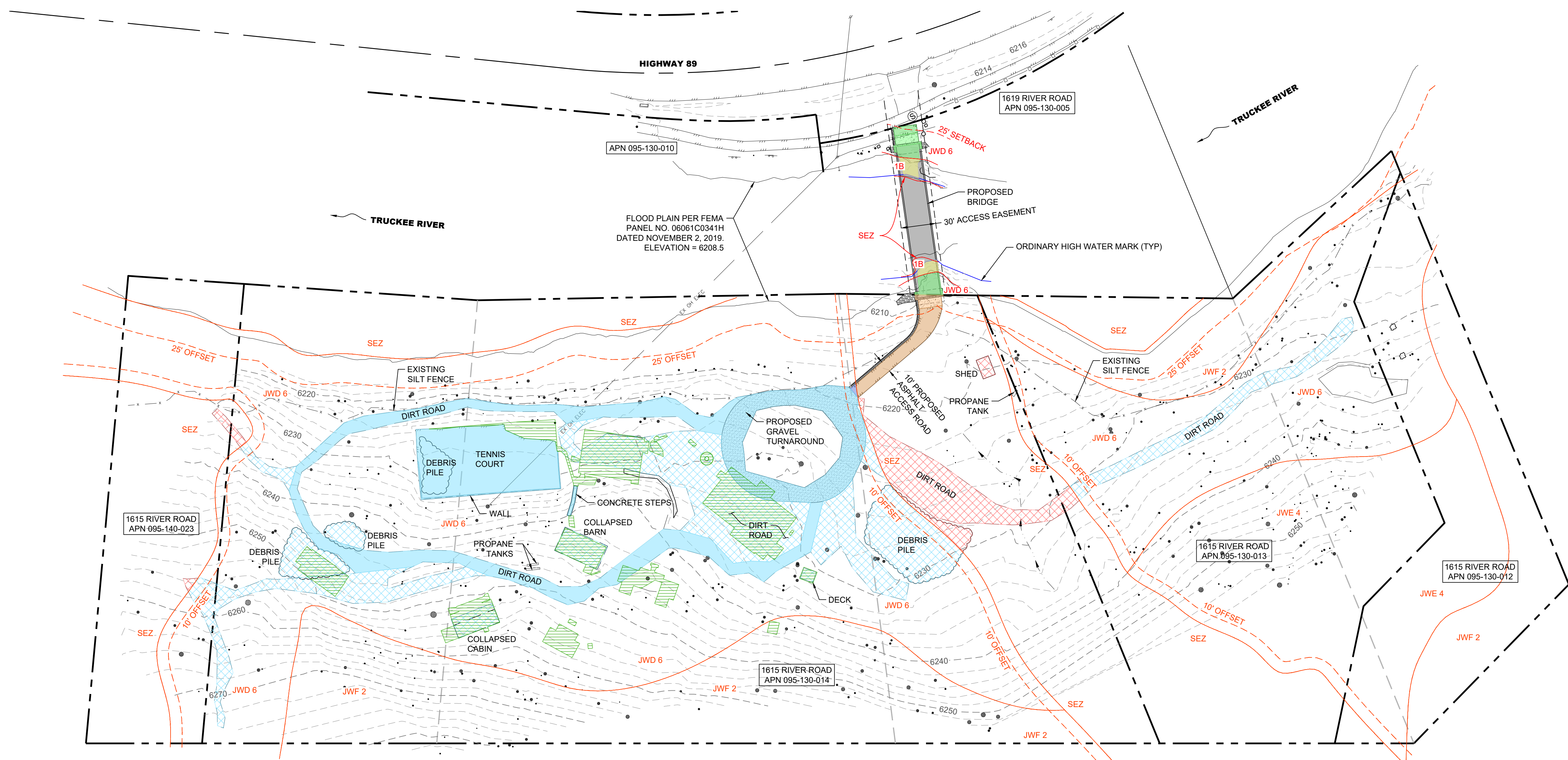
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**PROPOSED COVERAGE**

| PROPOSED COVERAGE (EASMENT AREA) |            |            |
|----------------------------------|------------|------------|
|                                  | CLASS 1B   | CLASS 6    |
| BRIDGE (WITH 3:1 REDUCTION)      | 320        | 531        |
| APPROACH SLAB & ABUTMENT         | -          | 205        |
| ASPHALT ACCESS ROAD              | -          | 144        |
| <b>TOTAL COVERAGE</b>            | <b>320</b> | <b>880</b> |

| PROPOSED COVERAGE (PROJECT AREA) |              |           |
|----------------------------------|--------------|-----------|
|                                  | CLASS 1B     | CLASS 6   |
| BRIDGE (WITH 3:1 REDUCTION)      | -            | -         |
| APPROACH SLAB & ABUTMENT         | 227          | -         |
| ASPHALT ACCESS ROAD              | 1,145        | 30        |
| <b>TOTAL COVERAGE</b>            | <b>1,372</b> | <b>30</b> |

**REMAINING VERIFIED COVERAGE (PROJECT AREA)**

|                                      | CLASS 6       |
|--------------------------------------|---------------|
| DIRT ROAD (+ PREVIOUS ASPHALT DRIVE) | 16,376        |
| CONCRETE PADS, STEPS, AND WALKS      | 79            |
| SHEDS                                | -             |
| TENNIS COURT                         | 6,410         |
| WALLS                                | 165           |
| <b>TOTAL COVERAGE</b>                | <b>23,030</b> |

**UNVERIFIED COVERAGE (PROJECT AREA)**

|                       | CLASS 1B     | CLASS 6       |
|-----------------------|--------------|---------------|
| COLLAPSED STRUCTURE   | 5,480        | 1,550         |
| DEBRIS PILE           | 525          | 6,076         |
| DECK                  | -            | 108           |
| DIRT ROAD             | -            | 21,665        |
| SHEDS                 | 191          | -             |
| <b>TOTAL COVERAGE</b> | <b>6,196</b> | <b>29,399</b> |

**BANKED COVERAGE (PROJECT AREA)**

|  | CLASS 2   | CLASS 6       |
|--|-----------|---------------|
| ASPHALT DRIVE                                      | -         | -             |
| BUILDINGS  | -         | 5,095         |
| BUILDING FOUNDATION WITH BASEMENT                  | -         | 3,156         |
| BUILDING REMAINS (BURNT)                           | -         | 403           |
| COMPACTED DIRT DRIVE                               | -         | -             |
| CONCRETE PADS, STEPS, AND WALKS                    | -         | 483           |
| DECKS AND STAIRS (WITH 3:1 TRPA REDUCTION)         | -         | 633           |
| DECKS AND STAIRS (BURNT) (WITH 3:1 TRPA REDUCTION) | -         | 116           |
| SHEDS  | 85        | 142           |
| STAIRS (WITH NO 3:1 TRPA REDUCTION)                | -         | 134           |
| STONE WALKS/PATIOS                                 | -         | 204           |
| TENNIS COURT                                       | -         | 7,145         |
| WALLS  | -         | -             |
| <b>TOTAL COVERAGE</b>                              | <b>85</b> | <b>17,511</b> |

**PROPOSED COVERAGE CALCULATIONS**

| EASEMENT AREA   |          |           |          |                      |           |  |
|-----------------|----------|-----------|----------|----------------------|-----------|--|
| LAND CAPABILITY | VERIFIED | ALLOWABLE | PROPOSED | TRANSFERRED COVERAGE | REMAINING |  |
| ZONE 1B         | 448      | 31        | 320      | -                    | 128       |  |
| ZONE 6          | 542      | 385       | 880      | 338                  | -         |  |

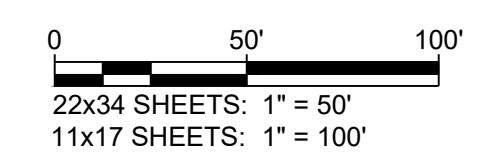
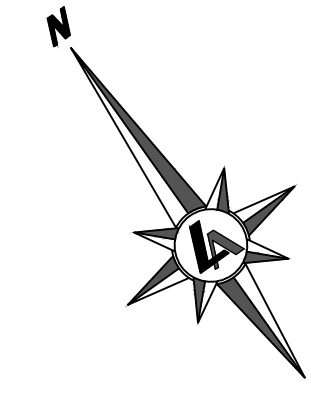
| PROJECT AREA    |          |           |          |                    |        |                      |           |            |               |
|-----------------|----------|-----------|----------|--------------------|--------|----------------------|-----------|------------|---------------|
| LAND CAPABILITY | VERIFIED | ALLOWABLE | PROPOSED | REMAINING VERIFIED | BANKED | TRANSFERRED COVERAGE | REMAINING | UNVERIFIED | TO BE REMOVED |
| ZONE 1B         | 1,396    | 1,114     | 1,372    | -                  | -      | -                    | 24        | 6,196      | -             |
| ZONE 2          | 85       | 806       | -        | -                  | 85     | -                    | 806       | -          | -             |
| ZONE 4          | -        | 9,911     | -        | -                  | -      | -                    | 9,911     | -          | -             |
| ZONE 6          | 34,082   | 70,504    | 30       | 23,030             | 17,511 | -338                 | 47,106    | 29,399     | -             |

**LEGEND**

- LANDCLASS (EASEMENT AREA)
- LANDCLASS (PROJECT AREA)
- ZONE 1B PROPOSED (EASMENT AREA)
- ZONE 6 PROPOSED (EASEMENT AREA)
- ZONE 1B PROPOSED (PROJECT AREA)
- ZONE 6 PROPOSED (PROJECT AREA)
- ZONE 1B VERIFIED (PROJECT AREA)
- ZONE 6 VERIFIED (PROJECT AREA)
- ZONE 1B UNVERIFIED (PROJECT AREA)
- ZONE 6 UNVERIFIED (PROJECT AREA)
- BANKED COVERAGE

**NOTES**

- THE ORDINARY HIGH WATER MARK WAS STAKED BY RESOURCE CONCEPTS INC. (RCI) ON OCTOBER 7, 2021.
- ON-SITE RESTORATION WILL OCCUR PER THE STATE OF CALIFORNIA LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD CLEANUP AND ABATEMENT ORDER FOLLOWING THE COMPLETION OF BRIDGE CONSTRUCTION.
- TRANSFERRED COVERAGE: 338 SQUARE FEET OF ZONE 6 COVERAGE IS TO BE TRANSFERRED FROM THE PROJECT AREA TO THE EASEMENT AREA.



L:\AP\10902.000 - 1615 River Road\DWG\Sheets\Bridge Plans\1090200BRIDGE-OVERALL PLAN.dwg,C2.1 OVERALL PROPOSED SITE PLAN, 12/12/2023 04:05 pm jtkron



12/12/2023

SKYWALKER INVESTMENTS, INC.  
**1615 RIVER ROAD  
BRIDGE REPLACEMENT  
DEMO & BMP PLAN**  
PLACER COUNTY  
TAHOE CITY  
CALIFORNIA

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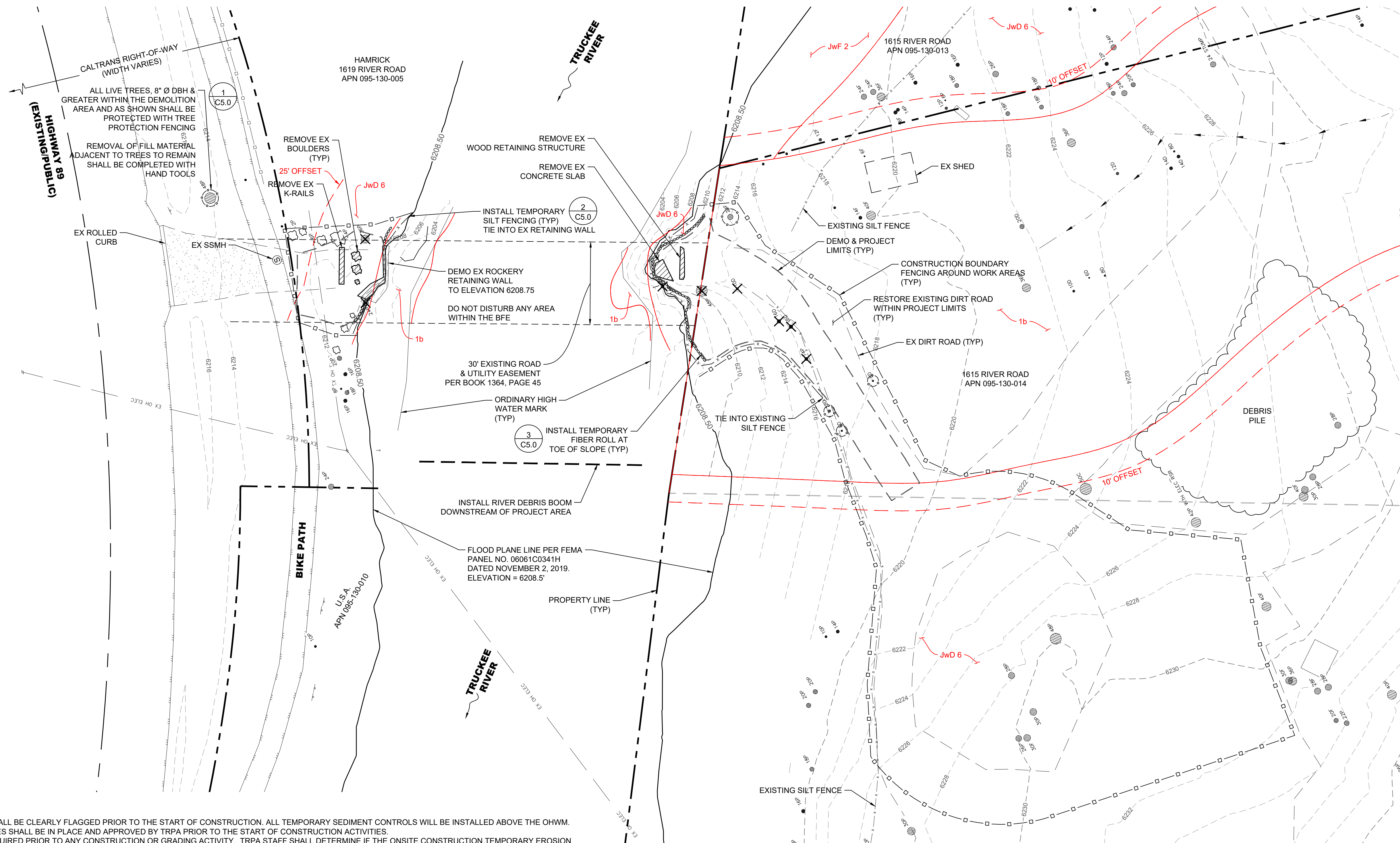
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**EROSION CONTROL NOTES**

- THE ORDINARY HIGH WATER MARK (OHWM) SHALL BE CLEARLY FLAGGED PRIOR TO THE START OF CONSTRUCTION. ALL TEMPORARY SEDIMENT CONTROLS WILL BE INSTALLED ABOVE THE OHWM.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE IN PLACE AND APPROVED BY TRPA PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.
- AN ONSITE INSPECTION BY TRPA STAFF IS REQUIRED PRIOR TO ANY CONSTRUCTION OR GRADING ACTIVITY. TRPA STAFF SHALL DETERMINE IF THE ONSITE CONSTRUCTION TEMPORARY EROSION CONTROL MEASURES HAVE BEEN PROPERLY INSTALLED. NO GRADING OR CONSTRUCTION SHALL COMMENCE UNTIL TRPA PRE-GRADE CONDITIONS ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL CONSTRUCTION BMPs.
- SEDIMENT BARRIERS AND FENCING SHALL BE INSPECTED DAILY DURING CONSTRUCTION ACTIVITIES BY THE CONTRACTOR FOR DAMAGE AND APPROPRIATE PLACEMENT. SEDIMENT BARRIERS SHALL BE REPAIRED AND/OR RELOCATED AS NEEDED.
- DISTURBED AREAS, ROADWAYS, AND STAGING AREAS USED DURING CONSTRUCTION SHALL BE SWEEPED (IF PAVED) OR PROVIDED WITH DUST ABATEMENT SUCH AS A WATER TRUCK AS NEEDED.
- FOR ALL TREES TO REMAIN, TEMPORARY CONSTRUCTION FENCING SHALL BE INSTALLED ALONG THE DRIPLINE OF ALL TREES ADJACENT TO THE WORKING AREAS, WHERE FEASIBLE, OR OTHER MEASURES DEEMED APPROPRIATE BY THE TRPA INSPECTOR.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL BARREN AREAS AND AREAS DISTURBED BY CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES. APPLICATION OF A MULCH MAY ENHANCE VEGETATIVE ESTABLISHMENT.
- ALL AREAS OF TEMPORARY SOIL STOCKPILE SHALL BE CONTAINED BY TEMPORARY EROSION CONTROL MEASURES SUCH AS WEIGHTED FIBER ROLLS. ALL STOCKPILES NOT ACTIVELY IN USE SHALL BE COVERED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR AIR QUALITY AND DUST CONTROL THROUGH OUT THE CONSTRUCTION PERIOD IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY AIR QUALITY PERMITS NEEDED TO CARRY OUT CONSTRUCTION ACTIVITIES.
- SOIL AND CONSTRUCTION MATERIAL SHALL NOT BE TRACKED OFF THE CONSTRUCTION SITE. GRADING OPERATIONS SHALL CEASE IN THE EVENT THAT A DANGER OF VIOLATING THIS CONDITION EXISTS.
- EXCAVATED MATERIAL SHALL BE STORED UPGRADE FROM THE EXCAVATED AREA WHENEVER POSSIBLE. NO MATERIAL SHALL BE STORED IN ANY STREAM ENVIRONMENT ZONE (SEZ) OR WET AREA.
- ONLY EQUIPMENT OF A SIZE AND TYPE THAT WILL DO THE LEAST AMOUNT OF DAMAGE, UNDER PREVAILING SITE CONDITIONS, AND CONSIDERING THE NATURE OF THE WORK TO BE PERFORMED, WILL BE USED.
- NO WASHING OF VEHICLES OR HEAVY EQUIPMENT SHALL BE PERMITTED ANYWHERE ON THE SUBJECT PROPERTY UNLESS AUTHORIZED BY TRPA IN WRITING.
- NO VEHICLE OR HEAVY EQUIPMENT SHALL BE ALLOWED IN A STREAM ENVIRONMENT ZONE OR WET AREA EXCEPT AS AUTHORIZED BY TRPA.
- ALL CONSTRUCTION SHALL BE WINTERIZED BY OCTOBER 15 TO REDUCE THE WATER QUALITY IMPACTS ASSOCIATED WITH WINTER WEATHER AS FOLLOWS:
  - FOR THE SITES THAT WILL BE INACTIVE BETWEEN OCTOBER 15 AND MAY 1:
    - TEMPORARY EROSION CONTROLS SHALL BE INSTALLED
    - TEMPORARY VEGETATION PROTECTION FENCING SHALL BE INSTALLED
    - DISTURBED AREAS SHALL BE STABILIZED
    - ONSITE CONSTRUCTION TRASH AND DEBRIS SHALL BE CLEANED UP AND REMOVED
    - WHERE FEASIBLE, MECHANICAL STABILIZATION AND DRAINAGE IMPROVEMENTS SHALL BE INSTALLED
    - SPOIL PILES SHALL BE REMOVED FROM THE SITE
  - FOR THE SITES THAT WILL BE ACTIVE BETWEEN OCTOBER 15 AND MAY 1, IN ADDITION TO THE ABOVE REQUIREMENTS:
    - PERMANENT MECHANICAL EROSION CONTROL DEVICES SHALL BE INSTALLED, INCLUDING PAVING OF THE DRIVEWAYS AND PARKING AREAS.
    - PARKING OF VEHICLES AND STORAGE OF BUILDING MATERIALS SHALL BE RESTRICTED TO PAVED AREAS.

**DEMO NOTES**

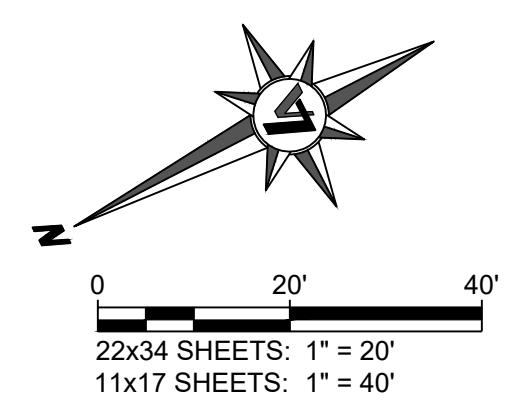
- CONTRACTOR TO PROVIDE PROJECT PHASING PLAN PRIOR TO COMMENCEMENT OF CONSTRUCTION. PHASING PLAN SHALL INCLUDE ALL PHASES NECESSARY TO REPLACE THE BRIDGE INCLUDING ABUTMENT CONSTRUCTION.
- NO DEMOLITION WORK SHALL BE PERFORMED WITHIN THE BFE LIMITS.
- ANY RESTORATION WORK OUTSIDE OF THE WORK AREA SHALL BE COMPLETED BY HAND.

**DEMO & BMP LEGEND**

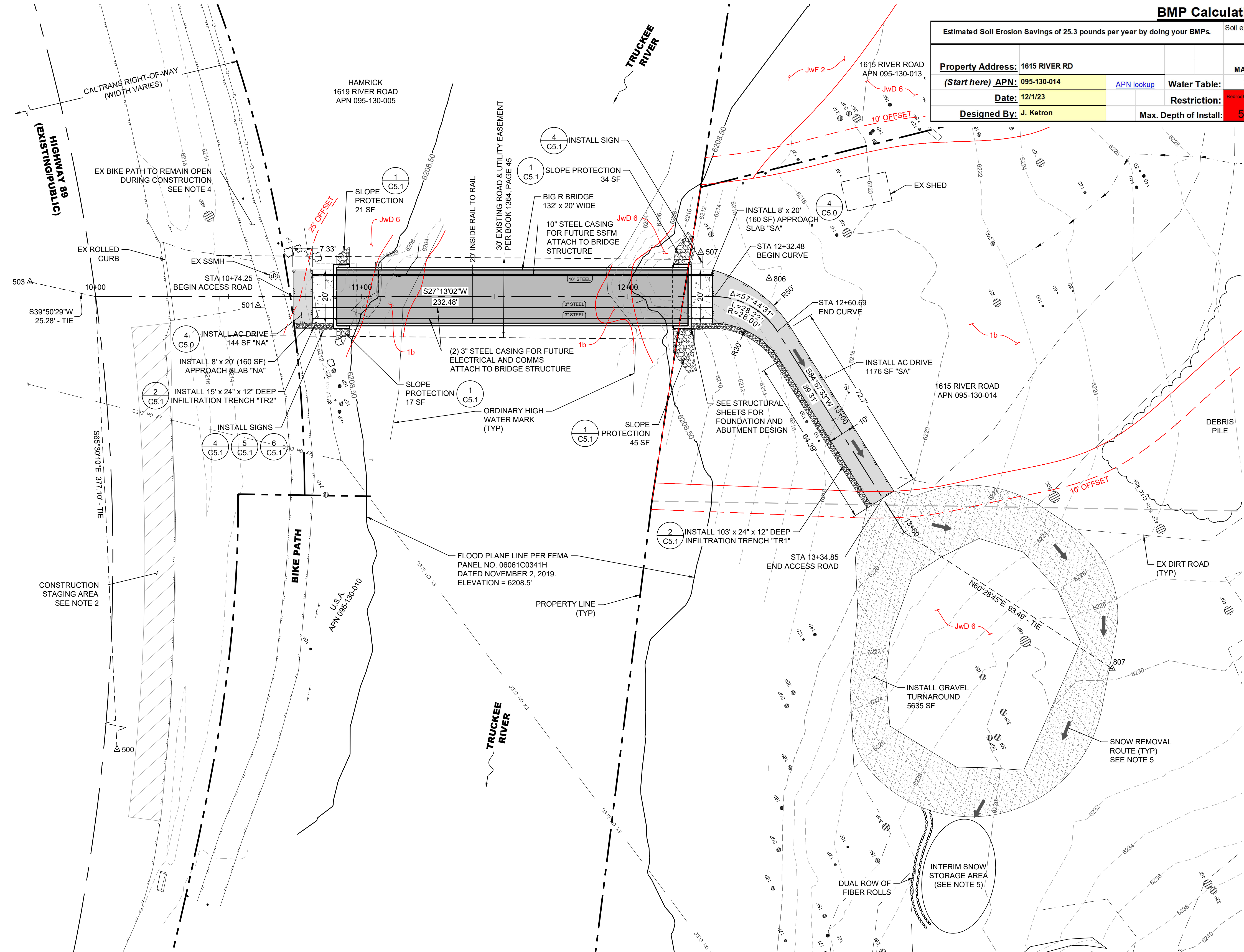
- DEMO & PROJECT LIMITS
- CONSTRUCTION BOUNDARY FENCING
- SILT FENCING
- FIBER ROLLS
- TREE PROTECTION FENCING
- TREE REMOVAL
- BFE LIMITS
- ORDINARY HIGH WATER MARK
- ACCESS AND UTILITY EASEMENT
- PROPERTY BOUNDARY LINE
- LAND CLASS

**TREE REMOVAL TABLE**

| TREE | DESCRIPTION | STATION & OFFSET |
|------|-------------|------------------|
| 01   | 30" FIR     | 10+99, 8' RT     |
| 02   | 48" PINE    | 10+99, 15' LT    |
| 03   | 12" ASPEN   | 12+07, 2' RT     |
| 04   | 48" PINE    | 12+21, 3' RT     |
| 05   | 12" ASPEN   | 12+34, 3' RT     |
| 06   | 16" ASPEN   | 12+57, 7' RT     |
| 07   | 16" ASPEN   | 12+62, 4' RT     |
| 08   | 14" PINE    | 12+75, 6' RT     |



L:\LAP\10902.000 - 1615 River Road\DWG\Sheets\Bridg Plans\10902000BRIDGE-PLAN.dwg,C3.0 DEMO & BMP PLAN, 12/07/2023 09:49 am jtkron



| CONTROL TABLE |            |            |           |   |
|---------------|------------|------------|-----------|---|
| POINT         | NORTHING   | EASTING    | ELEVATION | DESCRIPTION                             |
| 500           | 2192443.62 | 7080509.67 | 6205.33   | CP BEAVER 5/8 RB LA CAP - OPUS SOLUTION |
| 503           | 2192306.67 | 7080869.02 | 6213.66   | CP GOOSE 5/8 RB LA CAP                  |
| 507           | 2192077.48 | 7080763.58 | 6213.98   | CP BEAR 60D NAIL                        |
| 806           | 2192059.09 | 7080743.23 | 6215.85   | CP 60D                                  |
| 807           | 2192011.52 | 7080553.74 | 6229.99   | CP SET MAG                              |

- NOTES**
- NO CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN THE BFE LIMITS.
  - NO IMPROVEMENTS ARE PROPOSED WITHIN CALTRANS RIGHT-OF-WAY. THE CONTRACTOR SHALL OBTAIN THE NECESSARY CALTRANS OCCUPANCY PERMIT(S) PRIOR TO ANY CONSTRUCTION OR STAGING ACTIVITIES WITHIN RIGHT-OF-WAY.
  - THE CONTRACTOR SHALL SUBMIT A WORK CONSTRUCTION PLAN FOR ACCESS TO THE SOUTH SIDE OF THE RIVER FOR REVIEW BY THE ENGINEER, TRPA, AND THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD.
  - THE EXISTING BIKE PATH SHALL REMAIN OPEN DURING CONSTRUCTION. THE CONTRACTOR SHALL SUBMIT A WORK CONSTRUCTION PLAN FOR REVIEW BY TCPUD TO MAINTAIN PEDESTRIAN AND BIKE ACCESS ALONG THE PATH.
  - SITE ACCESS IS NOT ANTICIPATED DURING WINTER MONTHS PRIOR TO SITE DEVELOPMENT. IF SNOW REMOVAL OFF OF THE BRIDGE IS REQUIRED PRIOR TO SITE DEVELOPMENT, SNOW SHALL BE STORED IN THE INTERIM STORAGE AREA AS SHOWN ON PLANS. PERMANENT SNOW STORAGE WILL BE INCLUDED WITH FUTURE SITE DEVELOPMENT.

- PROPOSED BRIDGE**
- SUPERSTRUCTURE BY BIG R BRIDGE
  - DESIGN LOADING IS AASHTO HB-17
  - 132' LONG, 20' INSIDE RAIL TO RAIL
  - BRIDGE SLOPE IS 2.00% TOWARDS THE NORTH
  - SEE STRUCTURAL SHEETS FOR FOUNDATION AND BACK WALL DESIGN

**BMP Calculation Spreadsheet**

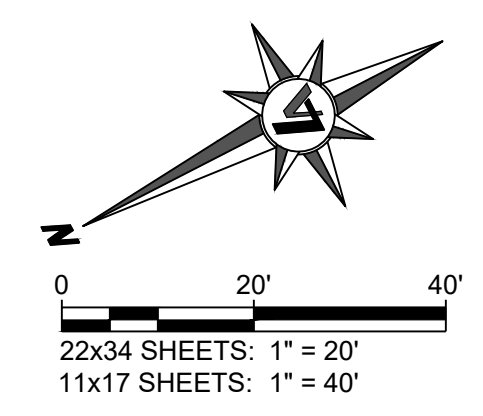
Estimated Soil Erosion Savings of 25.3 pounds per year by doing your BMPs. Soil erosion is estimated by the treatment volume multiplied by a 250 mg/l concentration plus contributions of source control and deck treatments calculated with the USLE.

|                   |               |                        |       |                 |      |   |       |
|-------------------|---------------|------------------------|-------|-----------------|------|---|-------|
| Property Address: | 1615 RIVER RD | MAP DATA:              | >5ft  | ON-SITE DEPTHS: |      | Total Drain Rock Quantity (yd <sup>3</sup> ): | 8.7   |
| (Start here) APN: | 095-130-014   | APN lookup             |       | Water Table:    |      | Total Runoff (ft <sup>3</sup> ):              | 127.8 |
| Date:             | 12/1/23       | Restriction:           | 59 in | Map Unit:       | 7222 | Amount Treated:                               | 127.8 |
| Designed By:      | J. Ketron     | Max. Depth of Install: | 59 in |                 |      | Total Excavation (yd <sup>3</sup> ):          | 8.7   |

| Contributing Surface                   | NA   | SA    |
|--|------|-------|
| # of Stones                            |      |       |
| Length (ft.)                           |      |       |
| Width (ft.)                            |      |       |
| Area (ft <sup>2</sup> )                | 304  | 1336  |
| Runoff (ft <sup>3</sup> )              | 25.3 | 102.0 |
| Treatment Label:                       | TR2  | TR1   |
| Length (ft.)                           | 15.0 | 103.0 |
| Width (in.)                            | 24   | 24    |
| Depth (in.)                            | 12   | 12    |
| On-Site Ksat (in/hr)                   | 5.7  | 5.7   |
| Prefab Void Space (%)                  |      |       |
| Average Void Space (%)                 | 40%  | 40%   |
| Effective Volume (yd <sup>3</sup> )    | 1.1  | 7.6   |
| Treatment Capacity (ft <sup>3</sup> )  | 31.0 | 212.9 |
| Drain Rock Quantity (yd <sup>3</sup> ) | 1.1  | 7.6   |
| Excess Runoff (ft <sup>3</sup> )       | 0.0  | 0.0   |
| Excess Capacity (ft <sup>3</sup> )     | 5.7  | 110.9 |

**SITE PLAN LEGEND**

|  |                             |
|--|-----------------------------|
|  | BFE LIMIT                   |
|  | ORDINARY HIGH WATER MARK    |
|  | ACCESS AND UTILITY EASEMENT |
|  | PROPERTY BOUNDARY LINE      |
|  | LAND CLASS                  |
|  | CONTROL POINT               |
|  | PROPOSED UTILITY CASING     |

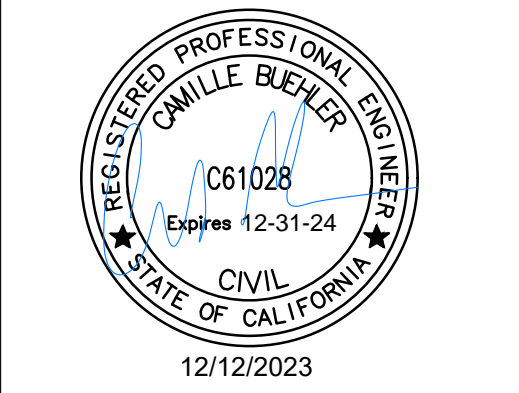


**LUMOS & ASSOCIATES**

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BRIDGE REPLACEMENT  
SITE PLAN  
PLACER COUNTY  
TAHOE CITY  
CALIFORNIA

| REV | DATE | DESCRIPTION |
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DECEMBER 2023

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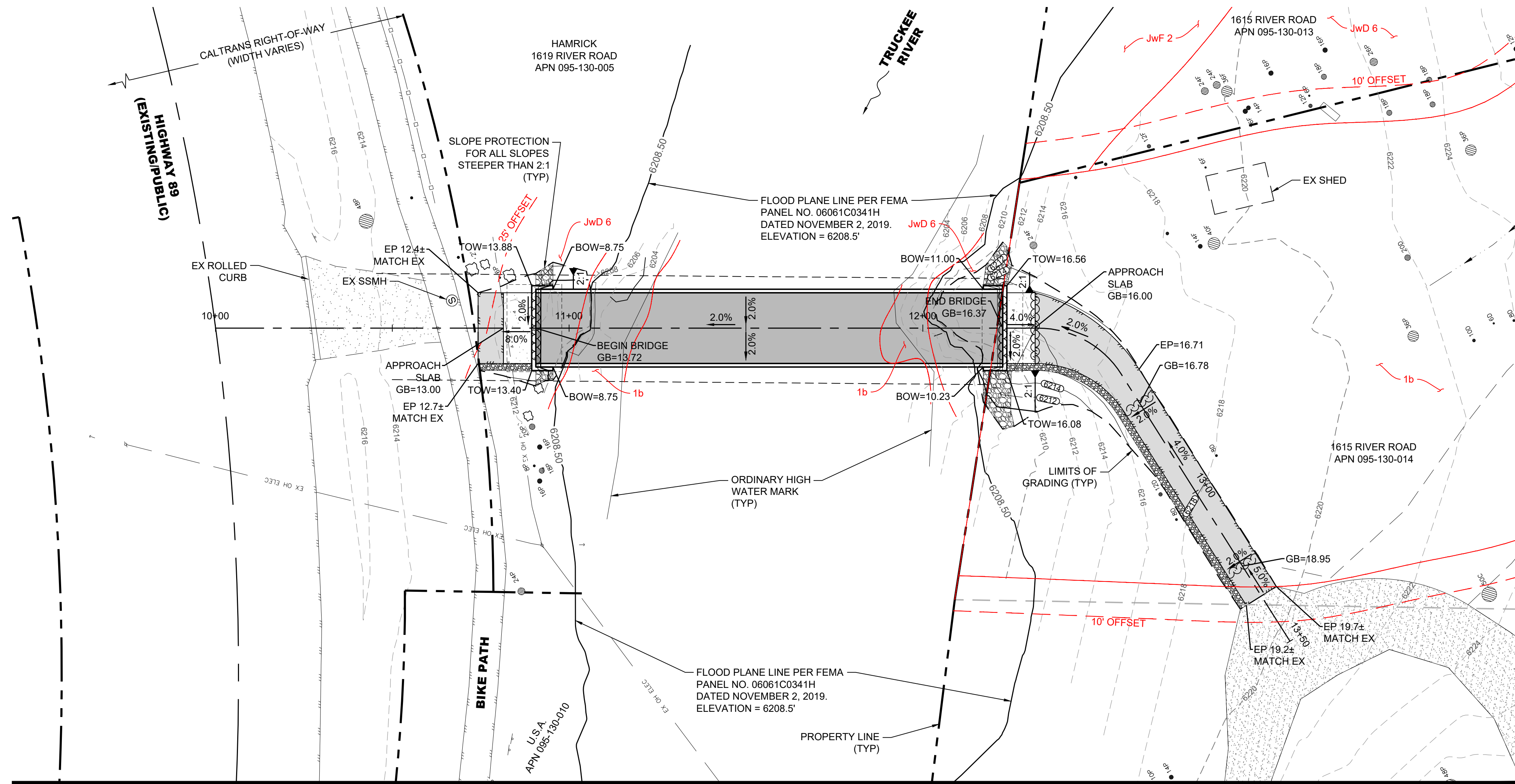
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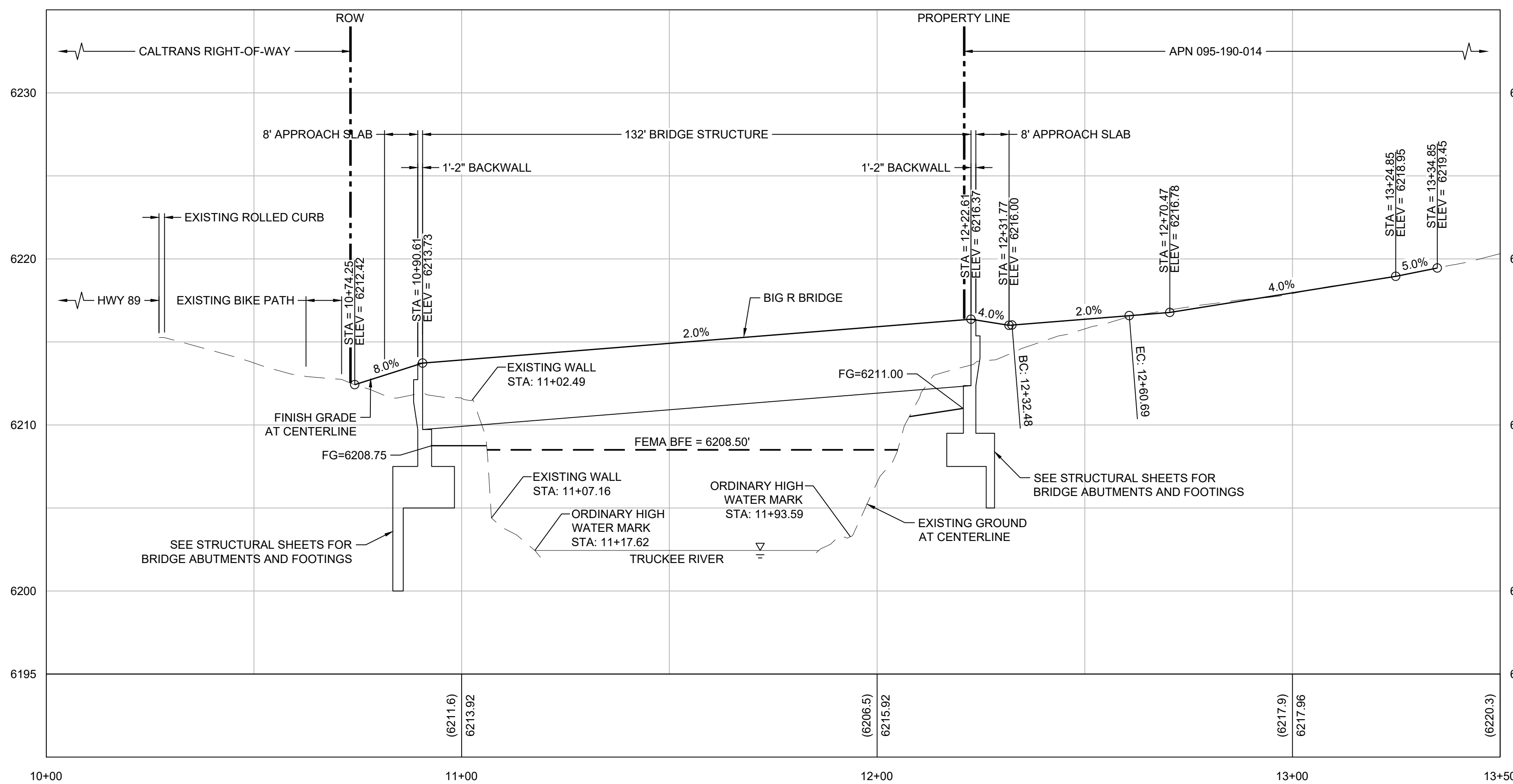
DRAWN BY: JTK  
DESIGNED BY: JTK  
CHECKED BY: CAB  
JOB NO.: 10902.000

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**BRIDGE CROSSING - STA:10+00 TO STA:13+50**



**GRADING PLAN LEGEND**

- BFE LIMIT
- ORDINARY HIGH WATER MARK
- - - ACCESS AND UTILITY EASEMENT
- - - PROPERTY BOUNDARY LINE
- - - EXISTING CONTOUR LINE
- - - PROPOSED CONTOUR LINE
- ▨ SLOPE PROTECTION FOR SLOPES > 2:1

**GRADING NOTES**

1. ADD 6,200 TO ALL SPOT ELEVATIONS.
2. NO CONSTRUCTION ACTIVITIES ARE TO OCCUR WITHIN THE BFE LIMITS.
3. NO IMPROVEMENTS ARE PROPOSED WITHIN CALTRANS RIGHT-OF-WAY. A CALTRANS OCCUPANCY PERMIT MUST BE OBTAINED PRIOR TO ANY CONSTRUCTION OR STAGING ACTIVITIES WITHIN RIGHT-OF-WAY.
4. THE CONTRACTOR SHALL SUBMIT A WORK CONSTRUCTION PLAN FOR ACCESS TO THE SOUTH SIDE OF THE RIVER FOR REVIEW BY THE ENGINEER, TRPA, AND THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD.
5. THE MAXIMUM EXCAVATION DEPTH IS 13'. IT IS EXPECTED THAT GROUNDWATER WILL BE ENCOUNTERED DURING EXCAVATION. DEWATERING OPERATIONS SHALL CONFORM TO THE DEWATERING PLAN. REFERENCE DETAIL 3 ON SHEET C5.1.

**PROPOSED BRIDGE**

1. SUPERSTRUCTURE BY BIG R BRIDGE
2. DESIGN LOADING IS AASHTO HB-17
3. 132' LONG, 20' INSIDE RAIL TO RAIL
4. BRIDGE SLOPE IS 2.00% TOWARDS THE NORTH
5. SEE STRUCTURAL SHEETS FOR FOUNDATION AND BACK WALL DESIGN



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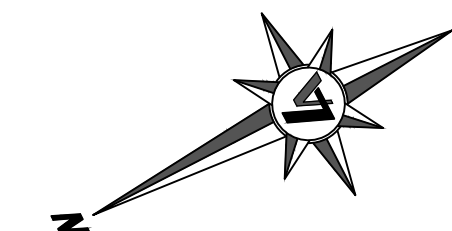
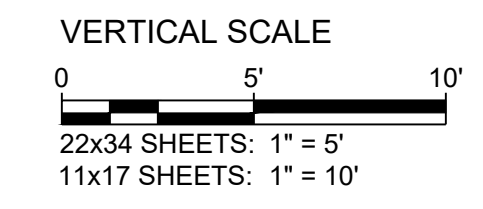
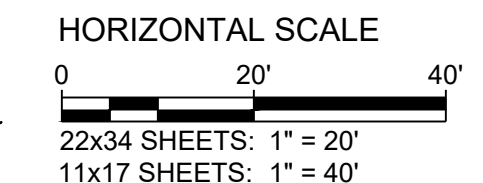
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 1615 RIVER ROAD  
 BRIDGE REPLACEMENT  
 GRADING PLAN  
 CALIFORNIA  
 PLACER COUNTY  
 TAHOE CITY

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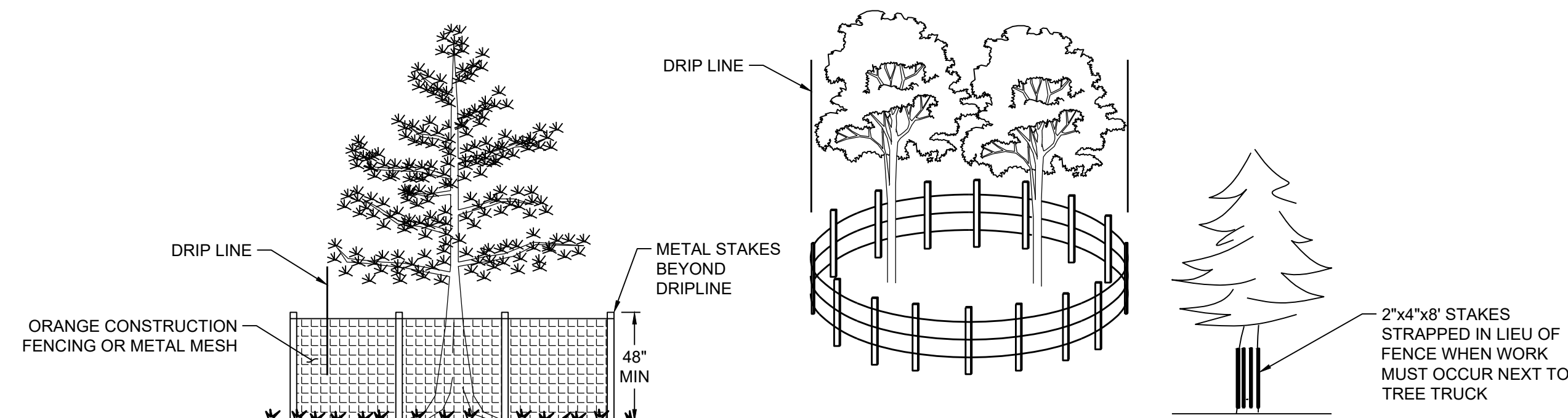
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**C4.1**

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DESIGNED BY: JTK  
CHECKED BY: CAB  
JOB NO.: 10902.000

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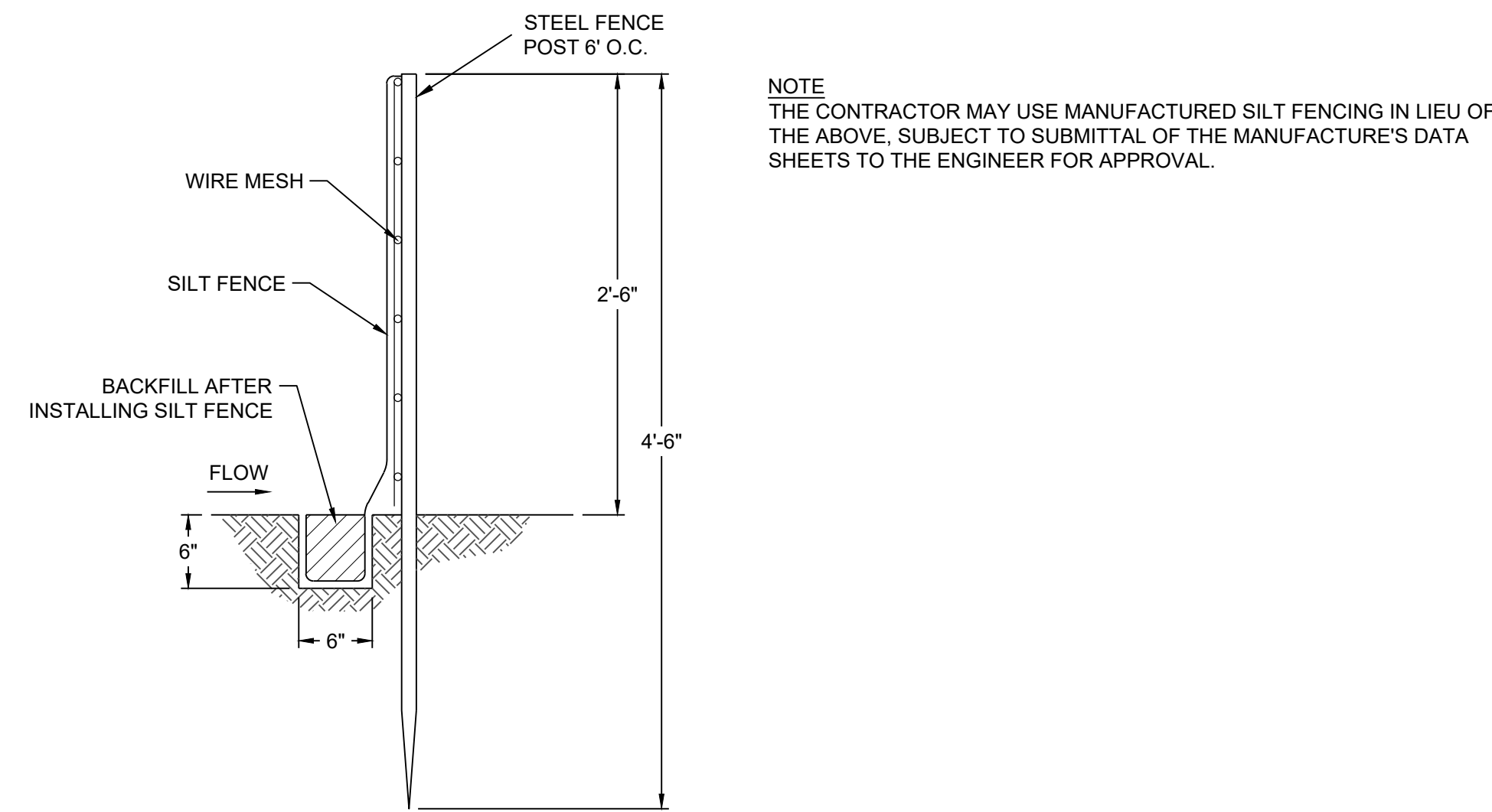


- NOTES:**
- DO NOT PERMIT PERSONNEL, CONSTRUCTION MATERIALS, OR EQUIPMENT, TEMPORARY OR OTHERWISE, WITHIN PROTECTIVE FENCING.
  - VEGETATION PROTECTION IS REQUIRED FOR ALL PROJECTS AS A CONDITION OF PROJECT APPROVAL.
  - METAL OR WIRE MESH FENCING MAY BE REQUIRED.
  - CALCULATE THE PROTECTIVE PERIMETER FOR SHIELDING LARGER SPECIMEN TREES MEASURING OVER 30" DBH AS FOLLOWS: COMPUTE THE PROTECTIVE RADIUS BY ADDING ONE FOOT, AS MEASURED OUT FROM THE TREE BOLE, FOR EVERY INCH IN DBH. (E.G. A TREE WITH A 30" DBH WOULD RECEIVE A 30' PROTECTIVE PERIMETER).

**1 TREE PROTECTION FENCING**

C5.0

SCALE: NTS

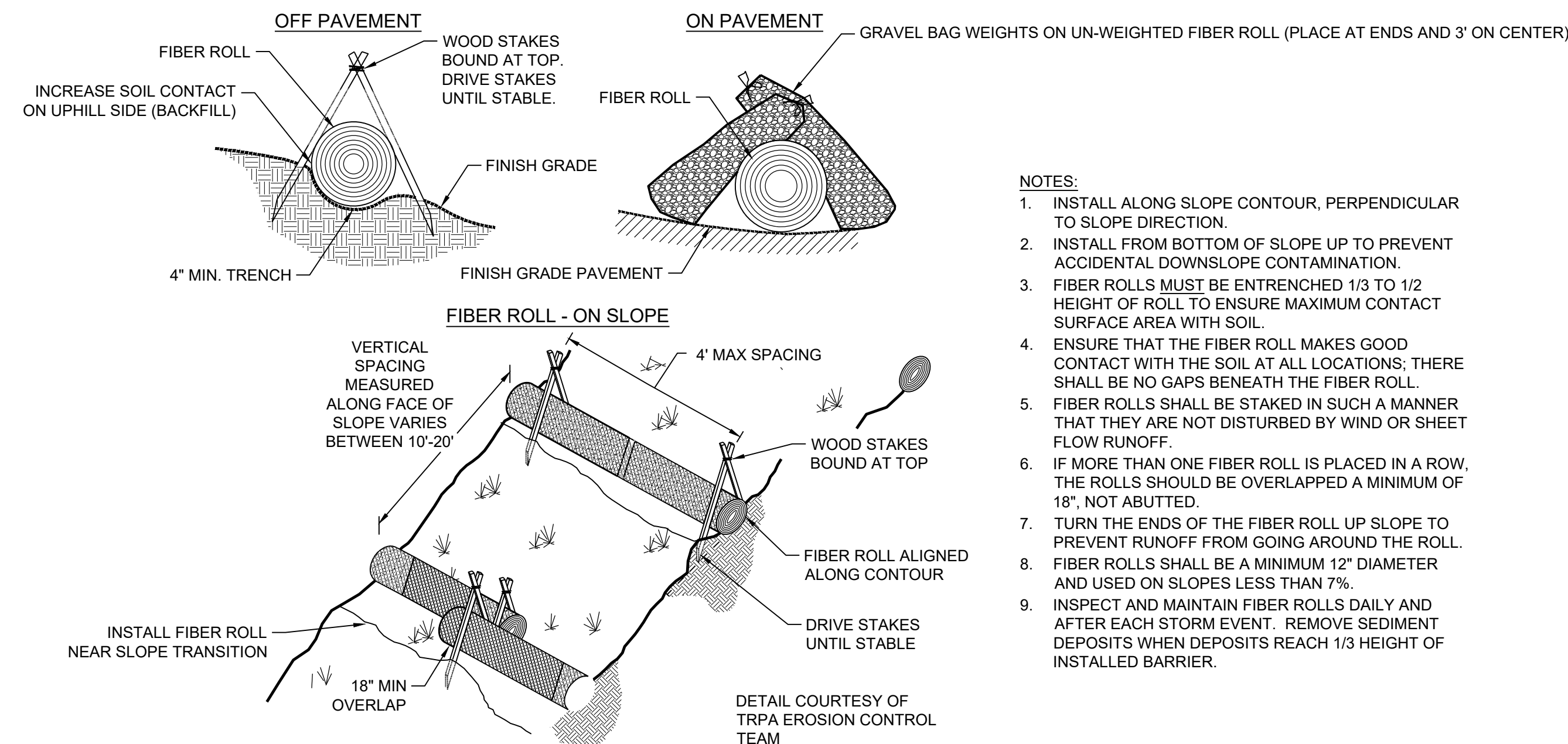


**NOTE**  
THE CONTRACTOR MAY USE MANUFACTURED SILT FENCING IN LIEU OF THE ABOVE, SUBJECT TO SUBMITTAL OF THE MANUFACTURE'S DATA SHEETS TO THE ENGINEER FOR APPROVAL.

**2 SILT FENCE DETAIL**

C5.0

SCALE: NTS

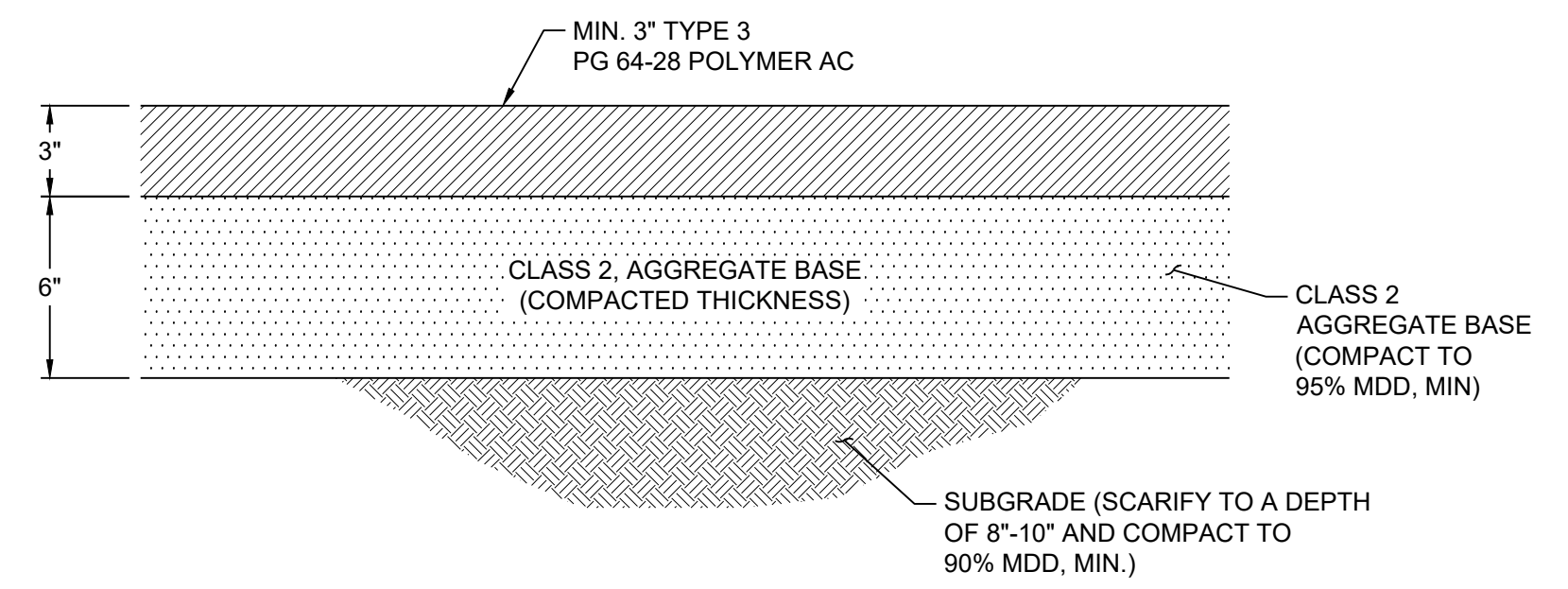


- NOTES:**
- INSTALL ALONG SLOPE CONTOUR, PERPENDICULAR TO SLOPE DIRECTION.
  - INSTALL FROM BOTTOM OF SLOPE UP TO PREVENT ACCIDENTAL DOWNSLOPE CONTAMINATION.
  - FIBER ROLLS MUST BE ENTRENCHED 1/3 TO 1/2 HEIGHT OF ROLL TO ENSURE MAXIMUM CONTACT SURFACE AREA WITH SOIL.
  - ENSURE THAT THE FIBER ROLL MAKES GOOD CONTACT WITH THE SOIL AT ALL LOCATIONS; THERE SHALL BE NO GAPS BENEATH THE FIBER ROLL.
  - FIBER ROLLS SHALL BE STAKED IN SUCH A MANNER THAT THEY ARE NOT DISTURBED BY WIND OR SHEET FLOW RUNOFF.
  - IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED A MINIMUM OF 18", NOT ABUTTED.
  - TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL.
  - FIBER ROLLS SHALL BE A MINIMUM 12" DIAMETER AND USED ON SLOPES LESS THAN 7%.
  - INSPECT AND MAINTAIN FIBER ROLLS DAILY AND AFTER EACH STORM EVENT. REMOVE SEDIMENT DEPOSITS WHEN DEPOSITS REACH 1/3 HEIGHT OF INSTALLED BARRIER.

**3 FIBER ROLL/COIR LOG**

C5.0

SCALE: NTS



**4 AC PAVEMENT SECTION**

C5.0

SCALE: NTS



**5 FIRE TRUCK ACCESS**

C5.0

SCALE: NTS



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DESIGNED BY: JTK  
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12/12/2023

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DECEMBER 2023

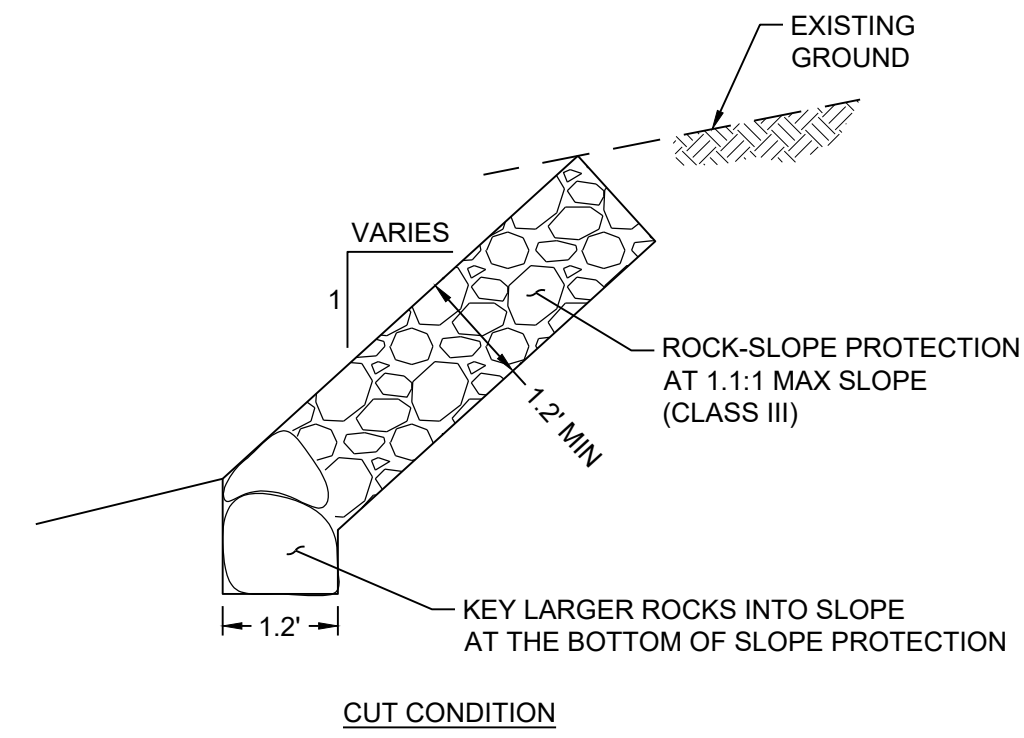
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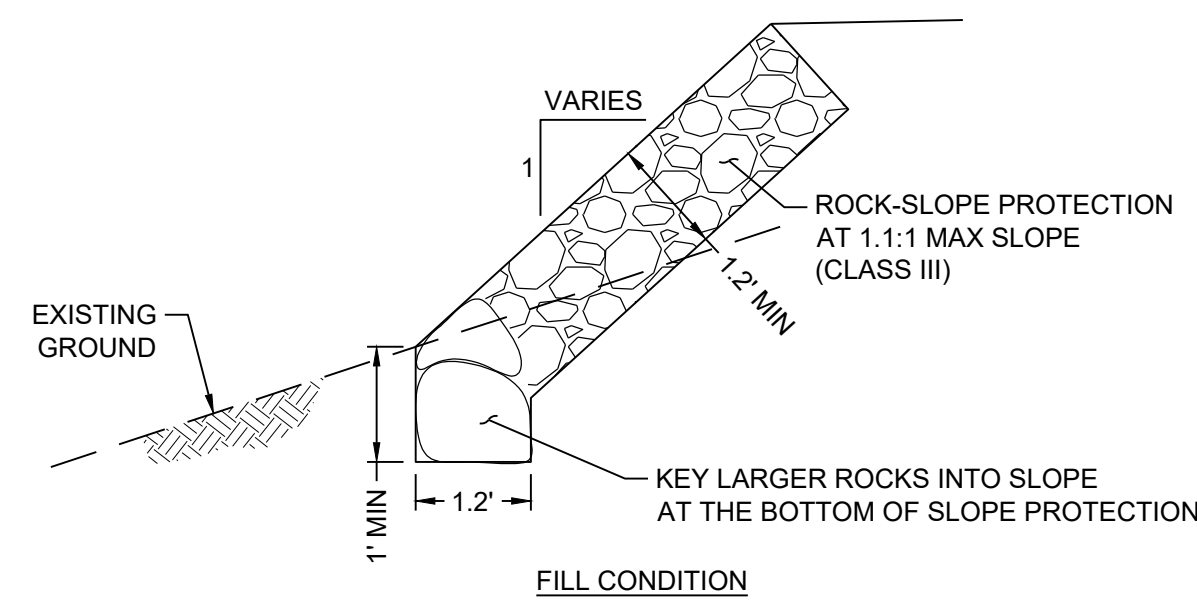
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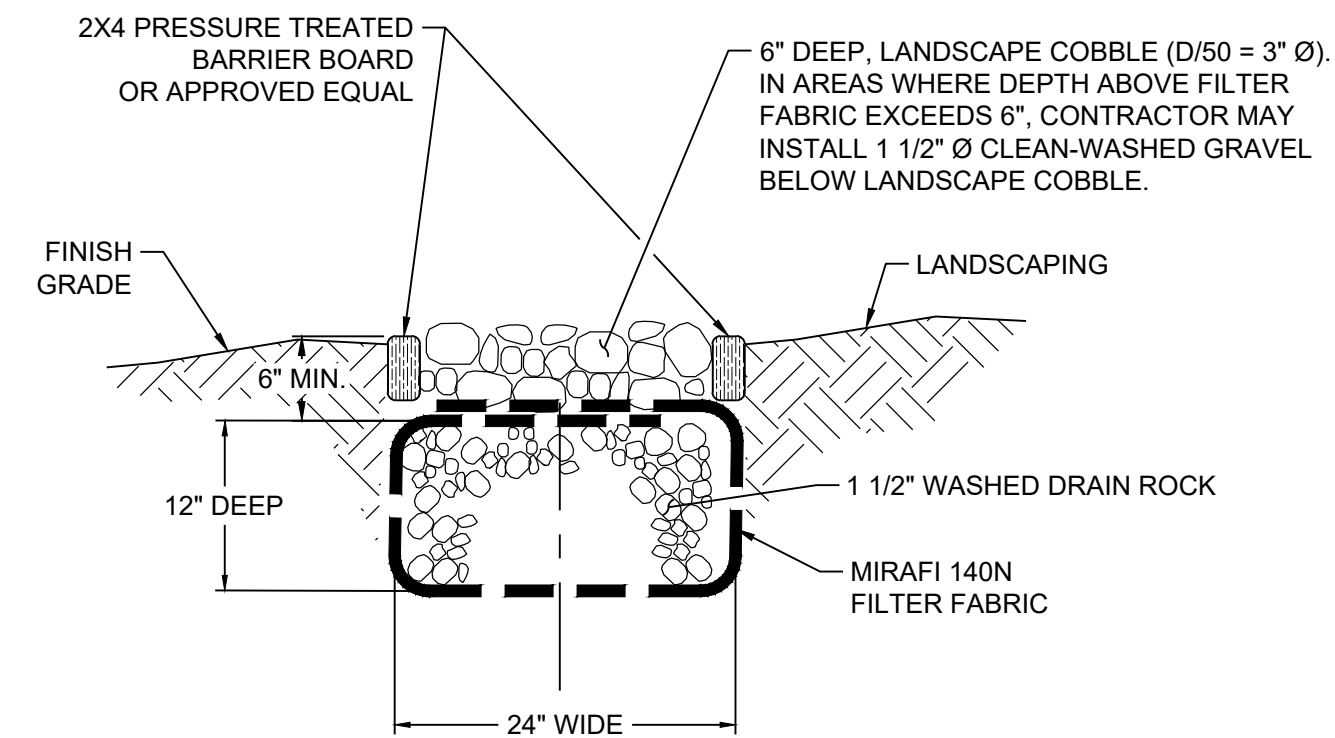
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CUT CONDITION



FILL CONDITION



2 INFILTRATION TRENCH SCALE: NTS

**DEWATERING PLAN**

IN THE EVENT GROUNDWATER IS ENCOUNTERED DURING EXCAVATION, THE FOLLOWING METHODS SHALL BE USED FOR DEWATERING OPERATIONS:

GROUNDWATER SHALL BE PUMPED USING A SUMP PUMP. THE WATER SHALL BE RUN THROUGH A FILTER SOCK AND PUMPED FOR IRRIGATION TO UPLAND AREAS. IRRIGATION SPRINKLERS SHALL BE MONITORED HOURLY TO ENSURE NO EROSION OCCURS.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE DETAILS FOR THE DEWATERING PLAN, IRRIGATION AND PUMPING RATES, AND A WORK PLAN FOR EROSION MONITORING.

THE CONTRACTOR MAY PROVIDE AN ALTERNATIVE DEWATERING PLAN FOR APPROVAL BY THE ENGINEER AND PERMITTING AGENCIES.

3 DEWATERING PLAN SCALE: NTS

1 SLOPE PROTECTION ON SLOPES STEEPER THAN 2:1 SCALE: NTS



| A  | B    | C    | D   | E    | F      | G      | H      | J     |
|----|------|------|-----|------|--------|--------|--------|-------|
| 24 | .375 | .625 | 4 C | 2.5  | 10.625 | 10.625 | 7.688  | 1.5   |
| 30 | .5   | .75  | 5 C | 3.25 | 13.375 | 12.688 | 9.125  | 1.875 |
| 36 | .625 | .875 | 6 C | 4    | 16     | 15.25  | 11.5   | 2.25  |
| 48 | .75  | 1.25 | 8 C | 5    | 21.25  | 20.25  | 15.375 | 3     |

WARNING SIGN COLORS:  
LEGEND — BLACK  
BACKGROUND— YELLOW (RETROREFLECTIVE)

TTC SIGN COLORS:  
LEGEND — BLACK  
BACKGROUND— ORANGE (RETROREFLECTIVE)

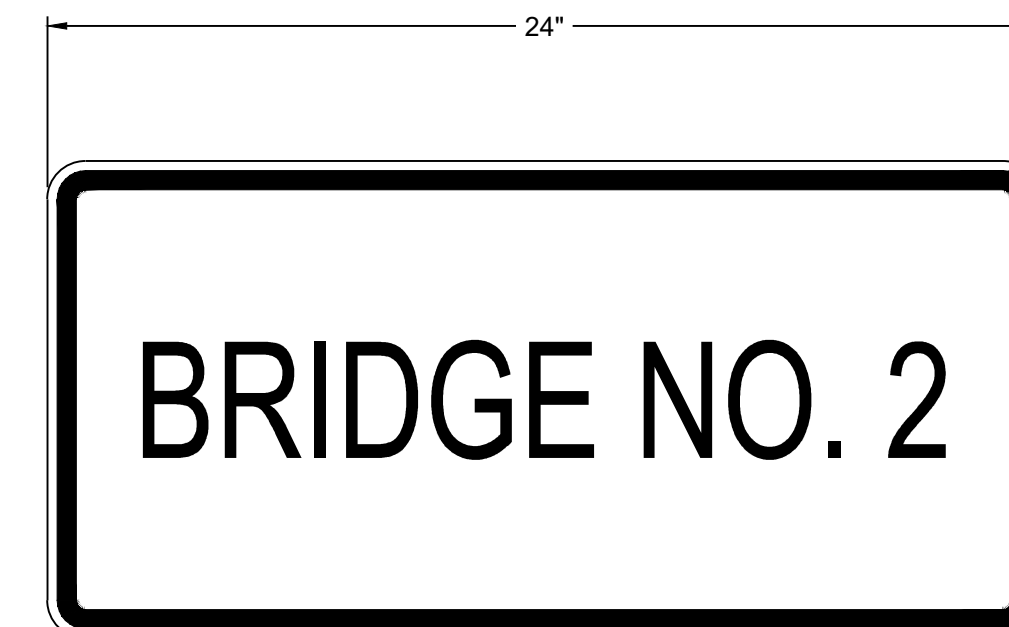
4 SIGN - TYPE W5-3 SCALE: NTS



| A     | B     | C     | D    | E    | F   | G    | H     | J   | K   | L    |
|-------|-------|-------|------|------|-----|------|-------|-----|-----|------|
| 24    | 30    | .375  | .625 | 3    | 4 D | 1.75 | 2.125 | 5 E | 50  | 9    |
| 36    | 48    | .625  | .875 | 4.75 | 6 D | 3    | 3.75  | 8 E | 8 D | 13.5 |
| M     | N     | P     | Q    |      |     |      |       |     |     |      |
| 9.5   | 6.313 | 8.25  | 1.5  |      |     |      |       |     |     |      |
| 14.25 | 9.438 | 13.25 | 2.25 |      |     |      |       |     |     |      |

COLORS: LEGEND — BLACK  
BACKGROUND— WHITE (RETROREFLECTIVE)

5 SIGN - TYPE R12-1 SCALE: NTS



6 SIGN - BRIDGE NO. 2 SCALE: NTS

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STRUCTURAL DRAWING ABBREVIATION LIST table with columns for abbreviation and description. Includes entries for bolts, steel, concrete, and various structural components.

SYMBOLS table containing: VIEW IN SECTION, BUILDING MATERIALS LEGEND, DRAWING CROSS-REFERENCE, and REVISION NOTATIONS. Includes graphical symbols for materials like concrete, steel, and wood.

STRUCTURAL NOTES

- 1. SCOPE: THE INTENT OF THESE DRAWINGS IS FOR THE ABUTMENTS FOR THE RAMPART RANCH BRIDGE REPLACEMENT PROJECT...
2. BASIS OF DESIGN: A. CODES: AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8TH EDITION...
3. GENERAL: A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS...
4. COORDINATION: A. THE GENERAL CONTRACTOR SHALL REFER TO DRAWINGS AND/OR SPECIFICATIONS BY OTHERS FOR ALL ADDITIONAL INFORMATION...
5. SUBMITTALS: A. AT LEAST TWO WEEKS PRIOR TO PROCEEDING WITH THE APPLICABLE PORTION OF THE WORK, THE CONTRACTOR SHALL SUBMIT THE FOLLOWING FOR REVIEW...

6. ALTERNATIVES (SUBSTITUTIONS)

- A. THE ENGINEER WILL CONSIDER ALTERNATIVES FOR STRUCTURAL MATERIALS AND PROCEDURES AS SPECIFIED IN THE CONTRACT DOCUMENTS PROVIDED THE ALTERNATIVE DOES NOT CAUSE AN INCREASE IN COST OR DELAY THE PROJECT IN ANY MANNER...
B. THE ENGINEER'S WRITTEN APPROVAL SHALL BE REQUIRED PRIOR TO USING ANY ALTERNATIVE...
C. THE ENGINEER WILL REQUIRE SUFFICIENT TIME TO ADEQUATELY EVALUATE ANY PROPOSED ALTERNATIVE...
D. ALTERNATIVE SUBMITTALS SHALL BE SUBMITTED TO THE ENGINEER AS STAND-ALONE DOCUMENTS INDEPENDENT OF SHOP DRAWINGS...
E. THE ENGINEER'S ACCEPTANCE OF AN ALTERNATIVE SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS...
F. FOUNDATIONS: A. REFER TO THE GEOTECHNICAL REPORT FOR GENERAL REQUIREMENTS OF EARTHWORK...
G. CONCRETE: A. CONCRETE AND COMPONENT MATERIALS SHALL CONFORM TO THE FOLLOWING CRITERIA...



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02/10/2023

SKYWALKER INVESTMENTS, INC
1615 RIVER ROAD
BRIDGE REPLACEMENT
STRUCTURAL NOTES
PLACER COUNTY
TAHOE CITY, CALIFORNIA

Table with columns: REV, DATE, DESCRIPTION. Includes a large 'PERMIT SUBMITTAL' stamp and 'FEBRUARY 2023' date stamp.

Scale bar: BAR IS 1 INCH ON ORIGINAL DRAWING. S0.1
DRAWN BY: K.L.Q.
DESIGNED BY: M.K.
CHECKED BY: B.C.E.
JOB NO.: 10902.000

L:\A\Proj\19902.000 - 1615 River Road\Structural\Current Drawings\River Road\_S0.1-S1.0.dwg,S0.1.1, 02/10/2023 02:43 pm, khilans

**9. REINFORCING STEEL**

A. REINFORCING STEEL AND DOWELS, SHALL CONFORM TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND INSTALLED IN CONFORMANCE WITH THE AMERICAN CONCRETE INSTITUTE STANDARDS 315 AND 318.

B. THE FOLLOWING CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT, UNLESS NOTED OTHERWISE:

COVER

- CONCRETE CAST AGAINST OR EXPOSED TO EARTH 3 INCHES
- CONCRETE EXPOSED TO WEATHER 2 INCHES
- CONCRETE NOT EXPOSED TO WEATHER 1½ INCHES
- CONCRETE NOT IN CONTACT WITH SOIL 1¼ INCHES

C. ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE PRIOR TO CONCRETE PLACEMENT.

D. WELDING OF REINFORCING STEEL OR WELD STRIKES ON REINFORCING BARS IS NOT PERMITTED EXCEPT WHERE SPECIFICALLY NOTED.

E. TENSION DEVELOPMENT LENGTH, LD, OF BARS WITHOUT EPOXY COATING AND PLACED IN CONCRETE WITH AN F'c = 3,000 PSI (MIN.), SHALL BE AS FOLLOWS:

| BAR SIZE | TOP BARS | OTHER BARS |
|----------|----------|------------|
| #4       | 29"      | 22"        |
| #5       | 36"      | 28"        |
| #6       | 43"      | 33"        |
| #7       | 63"      | 48"        |
| #8       | 72"      | 55"        |

F. TOP BARS ARE DEFINED AS HORIZONTAL REINFORCING WITH MORE THAN 12 INCHES OF CONCRETE BELOW.

G. TENSION LAP SPLICE LENGTH SHALL BE AS FOLLOWS:

- CLASS A = 1.0 LD
- CLASS B = 1.3 LD

FOR LAP SPLICES OF BARS OF DIFFERING DIAMETERS, THE LAP SPLICE LENGTH SHALL BE THAT REQUIRED FOR THE SMALLER BAR. THE MINIMUM CONTACT LAP SPLICE LENGTH SHALL BE CLASS B UNLESS NOTED OTHERWISE ON THE DRAWINGS. SEE THE TYPICAL CONCRETE DETAILS FOR ADDITIONAL REQUIREMENTS.

**10. ABUTMENTS**

A. ABUTMENT WALL STRUCTURES SHALL BE CONSTRUCTED AS INDICATED. MAXIMUM WALL HEIGHTS SHALL NOT EXCEED THE HEIGHTS SHOWN ON THE STRUCTURAL DRAWINGS.

B. WALL BACKFILL MATERIALS SHALL MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND "THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".

C. ABUTMENT WALL STRUCTURES SHALL NOT BE BACKFILLED UNTIL THE CONCRETE DESIGN STRENGTH IS ATTAINED AND THE CONCRETE HAS REACHED A MINIMUM AGE OF SEVEN DAYS.

D. DESIGN FORMWORK SO IT WILL SAFELY SUPPORT ALL REQUIRED VERTICAL AND LATERAL LOADS THAT MIGHT BE APPLIED.

E. THE ABUTMENT WALLS SHALL BE BACKFILLED PRIOR TO THE BRIDGE STRUCTURE BEING CONSTRUCTED.

**11. ANCHOR BOLTS**

A. UNLESS NOTED OTHERWISE, ANCHOR BOLTS SHALL BE THREADED RODS CONFORMING TO ASTM F1554 GRADE 105. ANCHOR RODS SHALL BE SIZED AS INDICATED AND WITH PROJECTIONS ABOVE THE CONCRETE SURFACE AS REQUIRED TO ACCOMMODATE FULLY ENGAGED NUTS AND WASHERS.

B. NUTS SHALL BE HEAVY HEX NUTS AND SHALL CONFORM TO ASTM A563. USE DOUBLE NUTS IN ALL CONNECTIONS. WASHERS USED FOR ANCHOR BOLTS SHALL BE HEAVY PLATE WASHERS CONFORMING TO ASTM A36. ANCHOR BOLTS, NUTS AND WASHERS SHALL BE HOT-DIPPED GALVANIZED.

**12. STRUCTURAL STEEL**

A. ALL WORK SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS" AS ADOPTED BY THE AMERICAN INSTITUTE FOR STEEL CONSTRUCTION.

B. ALL PLATES AND SHAPES SHALL CONFORM TO ASTM A36 OR A572.

C. UNLESS OTHERWISE NOTED, HOLES FOR BOLTS SHALL BE 1/16" LARGER THAN THE NOMINAL DIAMETER OF THE BOLT AND SHALL BE PUNCHED AND/OR DRILLED. GAS CUT HOLES WILL NOT BE ALLOWED.

D. WELDING MATERIALS AND PROCEDURES SHALL BE IN CONFORMANCE WITH THE AMERICAN WELDING SOCIETY'S STRUCTURAL WELDING CODE AWS D1.1. WELDING ELECTRODES SHALL BE E70XX, UNLESS ALLOWED OTHERWISE BY AWS. MINIMUM WELD SIZE SHALL BE IN ACCORDANCE WITH THE FOLLOWING TABLE.

TABLE J2.4  
MINIMUM SIZE OF FILLET WELDS

| THICKNESS OF THICKER PART JOINED (IN.) | MIN. SIZE OF FILLET WELD (IN.) |
|--|--------------------------------|
| LESS THAN 3/16                         | 1/8                            |
| 3/16 TO 1/2                            | 3/16                           |
| OVER 1/2 TO 3/4                        | 1/4                            |
| OVER 3/4                               | 5/16                           |

E. ALL STRUCTURAL STEEL SHALL BE HOT-DIPPED GALVANIZED AND TOUCHED UP IN THE FIELD AFTER ERECTION.

**13. JOINT SEALANT**

A. ALL JOINTS TO RECEIVE SEALANT SHALL BE THOROUGHLY CLEANED WITH CLEAN WATER AND COMPRESSED AIR SUCH THAT THE CLEANED SURFACE IS FREE OF CONCRETE SLURRY, DUST, DIRT, AND OTHER CONTAMINANTS.

B. JOINT SEALANT SHALL BE SIKAFLEX-2C NS/SL AS MANUFACTURED BY SIKA CORPORATION. ALL JOINTS TO RECEIVE SEALANT SHALL BE PRIMED WITH SIKAFLEX PRIMER 429/202.

**14. PRE-ENGINEERED BRIDGE**

A. THE PRE-ENGINEERED BRIDGE SHALL BE DESIGNED IN ACCORDANCE WITH THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8<sup>TH</sup> EDITION, THE LATEST EDITION OF THE NDOT DESIGN MANUAL AND THE LOADS LISTED HERE. IN CASE OF A DISAGREEMENT BETWEEN THESE DOCUMENTS, THE MORE SEVERE LOADING OR MORE CONSERVATIVE DESIGN REQUIREMENT SHALL GOVERN UNLESS A WRITTEN CLARIFICATION IS ISSUED.

B. DRAWINGS AND CALCULATIONS SHALL BE SIGNED AND SEALED BY A CALIFORNIA LICENSED PROFESSIONAL ENGINEER.

C. FINAL ABUTMENT SIZES AND REINFORCING WILL BE DETERMINED WHEN THE FINAL BRIDGE MANUFACTURER'S ABUTMENT REACTIONS ARE SUBMITTED.

D. PROPER COORDINATION OF THE EXACT ABUTMENT BRIDGE CONNECTION LOCATIONS WILL BE REQUIRED ONCE THEY ARE SET BY THE BRIDGE MANUFACTURER TO INSURE THAT NO CONFLICT OCCURS WITH THE BRIDGE AND STRUCTURAL DETAILS.

**STATEMENT OF SPECIAL INSPECTIONS (SSI)**

A. SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE CBC CHAPTER 17).

B. THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICIAL FOR APPROVAL.

C. DUTIES AND RESPONSIBILITIES OF THE SPECIAL INSPECTOR:

1. THE SPECIAL INSPECTOR SHALL OBSERVE THE WORK ASSIGNED FOR CONFORMANCE WITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS, AND THE 2022 CBC. THE INSPECTOR MAY NOT ALTER, MODIFY, ENLARGE OR WAVE ANY OF THE REQUIREMENTS OF THE DOCUMENTS.

2. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS AND ASSOCIATED TEST REPORTS TO THE OWNER, THE BUILDING OFFICIAL, THE ENGINEER OF RECORD AND THE CONTRACTOR. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED TO THE EOR AND THE BUILDING OFFICIAL.

3. ONCE CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS AND THE APPLICABLE WORKMANSHIP PROVISION OF THE 2018 IBC.

D. DUTIES AND RESPONSIBILITIES OF THE CONTRACTOR:

1. THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK IN ACCORDANCE WITH CBC 1704.4. THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED WITHIN THIS "STATEMENT OF SPECIAL INSPECTIONS".

2. THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAYS (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.

3. ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.

4. THE CONTRACTOR SHALL MAINTAIN COPIES OF ALL APPLICABLE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND ICC REPORTS FOR PROPRIETARY MATERIALS AT THE JOBSITE. THIS INFORMATION SHALL BE MADE AVAILABLE TO THE SPECIAL INSPECTOR UPON REQUEST.

E. SEE THE "SPECIAL INSPECTION SCHEDULE" FOR THE TYPES, EXTENTS AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.

| SPECIAL INSPECTION SCHEDULE  |            |          |   |
|--|------------|----------|---|
| AREAS REQUIRING SPECIAL INSPECTION   | FREQUENCY  |          | COMMENTS  |
|  | Continuous | Periodic |   |
| <b>FABRICATORS (CBC1704.2.5)</b>   |            |          |   |
|  |            | ◆        | If fabricator is approved, on-site inspection is not required but a certificate of completion must be provided to the B.O. (IBC 1704.2.5.1) |
| <b>SOILS (CBC1705.6)</b>   |            |          |   |
| Verify adequate materials below footings                                   |            | ◆        | Prior to placement of concrete  |
| Excavation extend to proper depth and materials                            |            | ◆        | Prior to placement of compacted fill or concrete  |
| Classification and testing of fill materials                               |            | ◆        | Check classification and gradations at each lift, but not less than once for each 10,000ft <sup>2</sup> of surface area.                    |
| Verify proper backfill materials, lift thicknesses and in-place densities. |            | ◆        |   |
| Verify properly prepared site and subgrade                                 |            | ◆        | Prior to placement of concrete  |
| <b>CONCRETE CONSTRUCTION (CBC1705.3)</b>                                   |            |          |   |
| Reinforcing steel placement  |            | ◆        | Verify size, clearances, splices and proper ties.   |
| Embedded bolts or plates   |            | ◆        |   |
| Verify required mix designs  |            | ◆        | Verify mix design meets strength and exposure requirements listed on approved plans.  |
| Concrete placement/sampling  |            | ◆        | Includes sampling for air, slump, strength and temperature techniques   |
| Inspect formwork   |            | ◆        | Verify shape, location and member dimensions  |
| Post-Installed anchors   |            | ◆        | In accordance with approved ICC-ES Report. Periodic inspections allowed if stated in ES Report.   |



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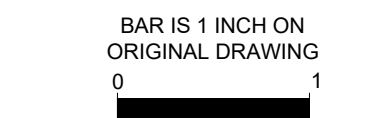


02/10/2023

SKYWALKER INVESTMENTS, INC  
 1615 RIVER ROAD  
 BRIDGE REPLACEMENT  
 STRUCTURAL NOTES & SPECIAL INSPECTIONS  
 CALIFORNIA  
 PLACER COUNTY  
 TAHOE CITY

| REV | DATE | DESCRIPTION | BY |
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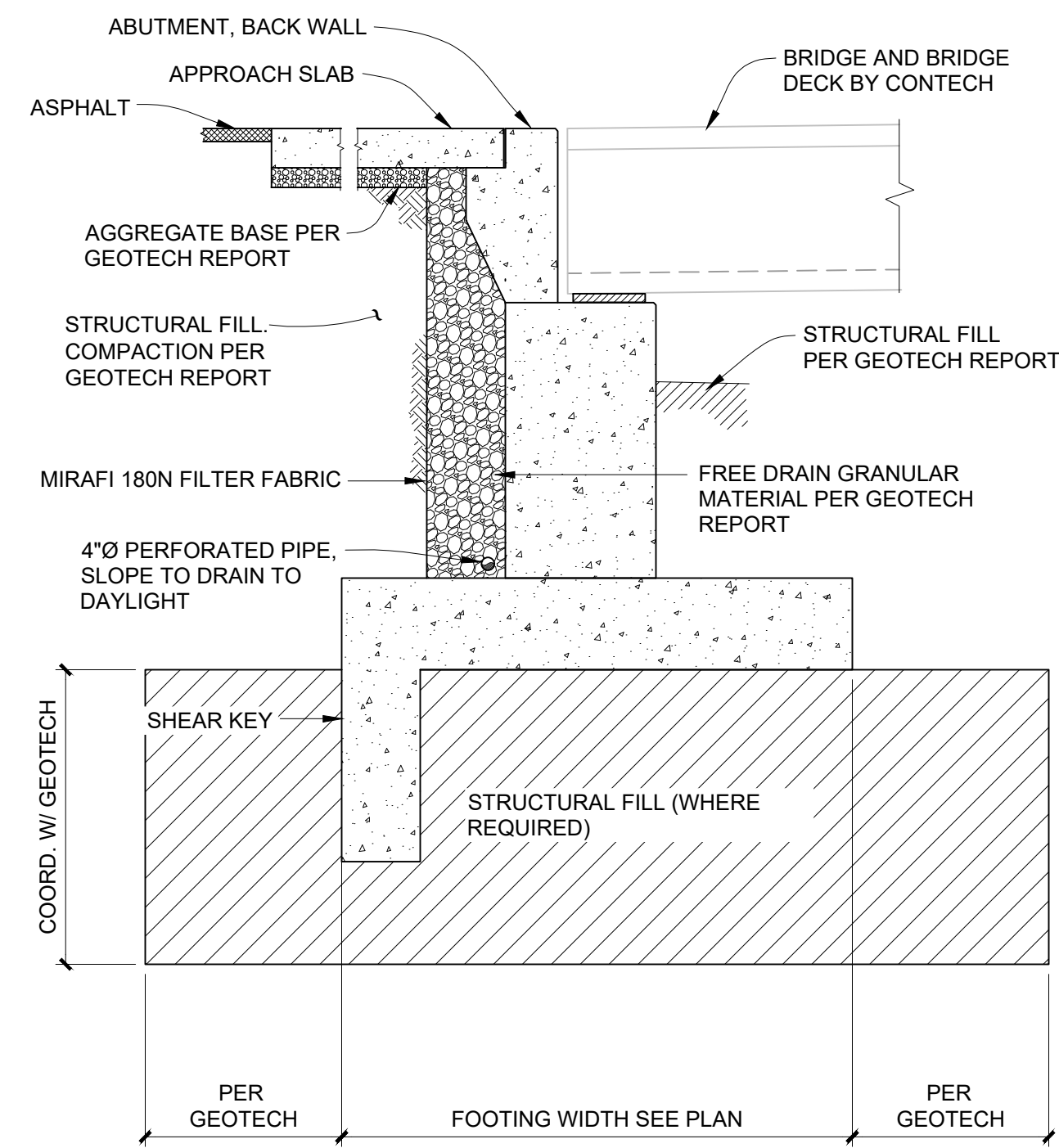
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 FEBRUARY 2023



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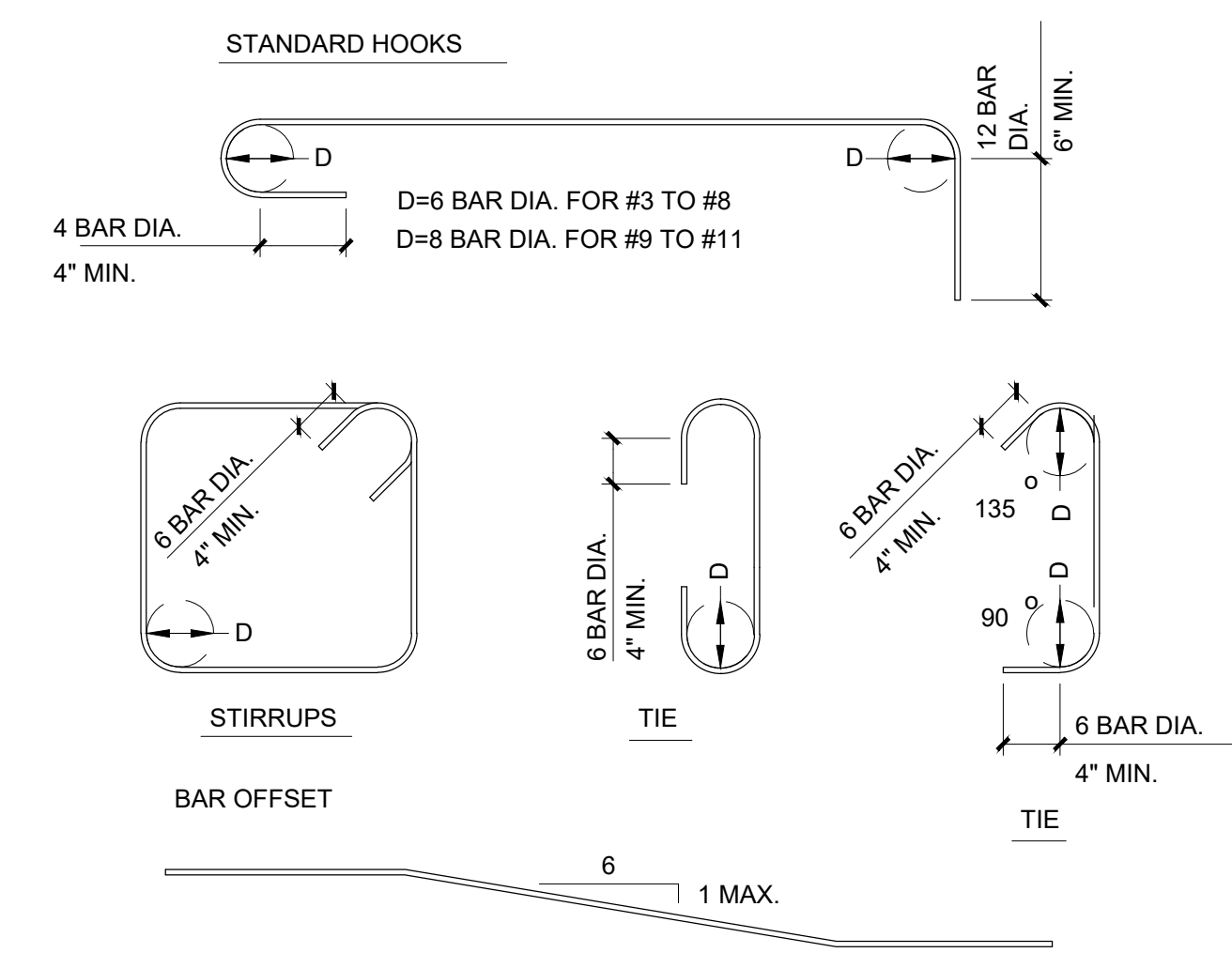
**S0.1.1**

DRAWN BY: K.L.Q.  
DESIGNED BY: M.K.  
CHECKED BY: B.C.E.  
JOB NO.: 10902.000



**1**  
**S0.2** **TYPICAL FOUNDATION & BACKFILL PREPARATION DETAIL**  
N.T.S.

NOTES: 1. SEE GEOTECHNICAL REPORT FOR ALL REQUIREMENTS.

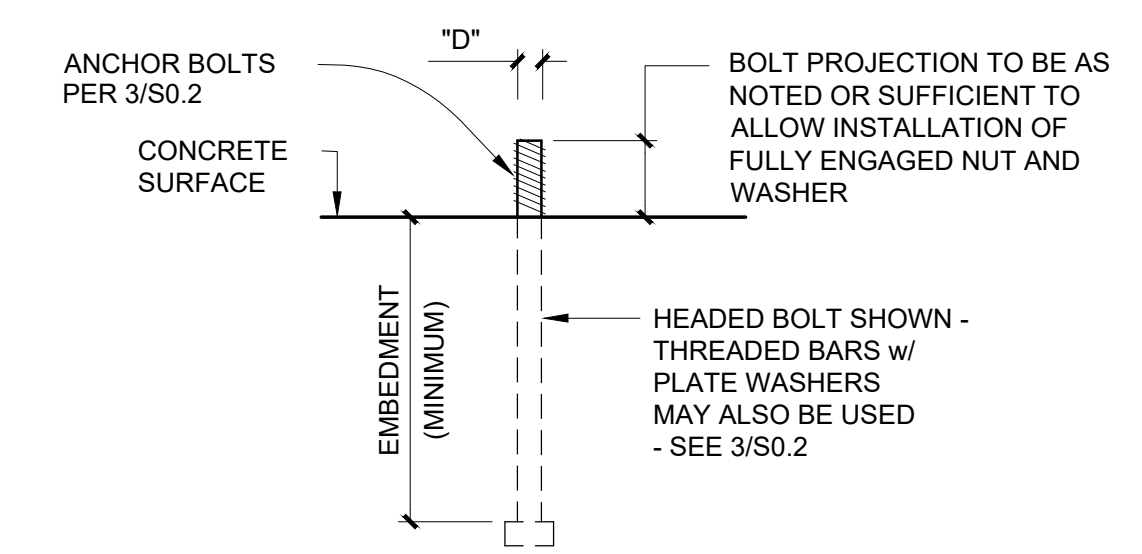


**2**  
**S0.2** **REINFORCING STEEL DATA**  
N.T.S.

| BAR SIZE | REINFORCING BAR LAP SPLICE, INCHES |       |       |
|----------|------------------------------------|-------|-------|
|          | 3 KSI                              | 4 KSI | 5 KSI |
| #3       | 21                                 | 18    | 17    |
| #4       | 27                                 | 25    | 22    |
| #5       | 36                                 | 33    | 27    |
| #6       | 43                                 | 37    | 33    |
| #7       | 62                                 | 55    | 48    |
| #8       | 72                                 | 61    | 55    |
| #9       | 81                                 | 70    | 62    |
| #10      | 93                                 | 81    | 70    |
| #11      | 111                                | 88    | 80    |

- CLEAR SPACING BETWEEN BARS SHALL BE AT LEAST 2 BAR DIAMETERS.
- CLEAR COVER OVER BARS SHALL BE AT LEAST 1 BAR DIAMETER.
- THE SPLICE LENGTH OF BARS WITH MORE THAN 12 INCHES OF FRESH CONCRETE BELOW THE BAR SHALL BE INCREASED BY 30%.
- THESE SPLICE LENGTHS DO NOT APPLY FOR EPOXY-COATED REINFORCEMENT, BARS IN LIGHTWEIGHT CONCRETE OR BUNDLED BARS.
- BARS LARGER THAN #11 SHALL NOT BE LAP-SPLICED.
- FOR  $F_c = 4.5$  KSI, USE SPLICE LENGTHS FOR  $F_c = 4$  KSI

**5**  
**S0.2** **LAP SPLICE REQUIREMENTS**  
N.T.S.



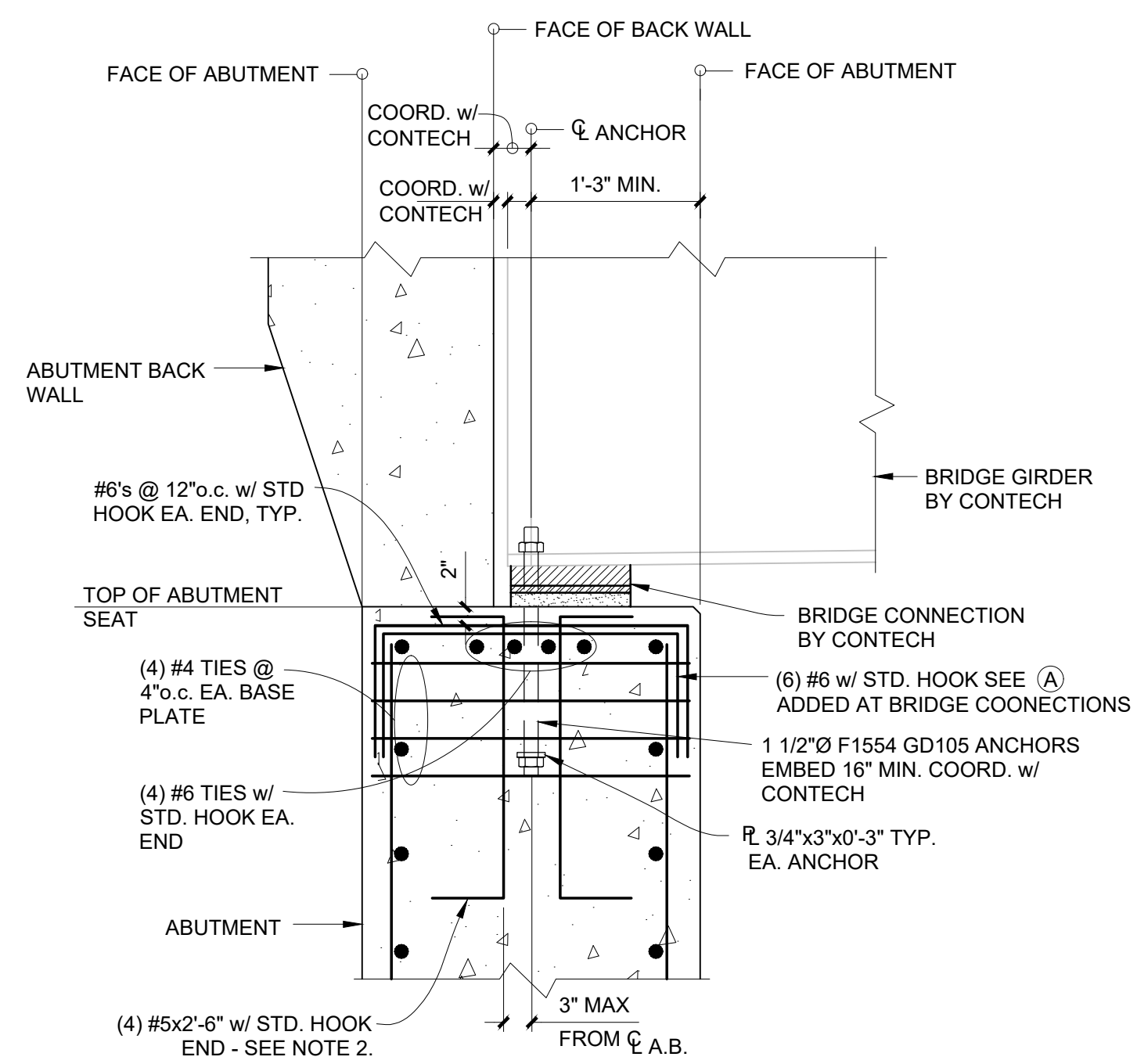
| BOLT DIA. "D" | MIN. EMBEDMENT LENGTH U.N.O. |
|---------------|------------------------------|
| 1/2"          | 7"                           |
| 5/8"          | 8"                           |
| 3/4"          | 9"                           |
| 7/8"          | 10"                          |
| 1"            | 12"                          |
| 1 1/2"        | 16"                          |

**3**  
**S0.2** **ANCHOR BOLT DETAIL**  
N.T.S.

| MAX. ANCHOR ROD HOLE SIZES IN BASE PLATES |                    |                          |                          |
|---|--------------------|--------------------------|--------------------------|
| ANCHOR ROD DIAMETER, IN.                  | HOLE DIAMETER, IN. | MINIMUM WASHER SIZE, IN. | MINIMUM WASHER THICKNESS |
| 3/4                                       | 1 5/16             | 2                        | 1/4                      |
| 7/8                                       | 1 9/16             | 2 1/2                    | 5/16                     |
| 1   | 1 13/16            | 3                        | 3/8                      |
| 1 1/4                                     | 2 1/16             | 3                        | 1/2                      |
| 1 1/2                                     | 2 5/16             | 3 1/2                    | 1/2                      |
| 1 3/4                                     | 2 3/4              | 4                        | 5/8                      |
| 2   | 3 1/4              | 5                        | 3/4                      |
| 2 1/2                                     | 3 3/4              | 5 1/2                    | 7/8                      |

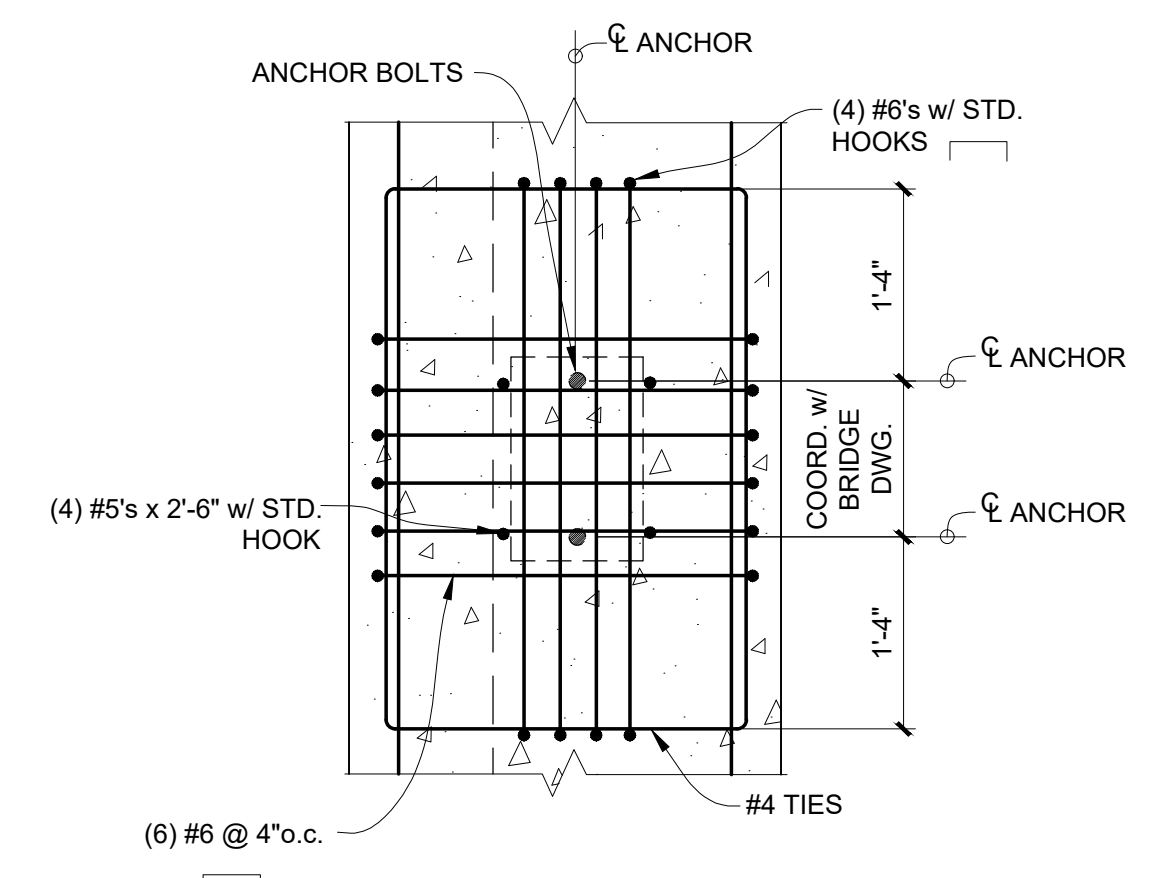
- NOTE: 1. CIRCULAR OR SQUARE WASHERS MEETING THE SIZE SHOWN ARE ACCEPTABLE.
2. ADEQUATE CLEARANCE MUST BE PROVIDED FOR THE WASHER SIZE SELECTED.
3. THESE REQUIREMENTS DO NOT APPLY TO NON-STRUCTURAL BASE PLATES.

**6**  
**S0.2** **CAST-IN-PLACE ANCHOR RODS IN CONCRETE**  
N.T.S.

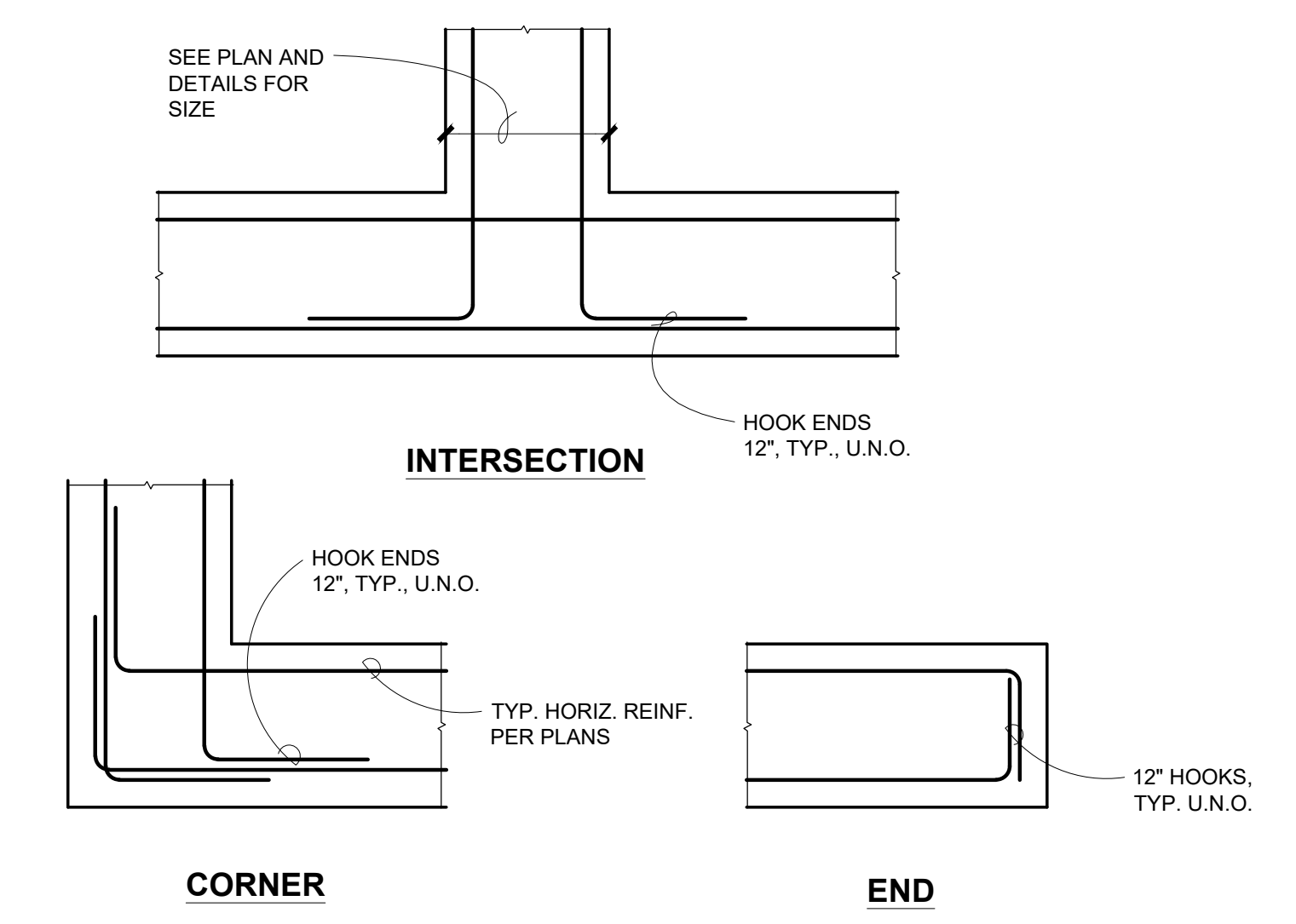


**4**  
**S0.2** **ANCHORAGE OF BRIDGE GIRDER TO ABUTMENT**  
SCALE: 3/4"=1'-0"

- NOTES:
- COORDINATE ANCHOR LAYOUT AND CONDITIONS w/ CONTECH.
  - #5 BARS SHALL BE PLACED WITHIN 6" FROM A.B.



- NOTES:
- WALL REINFORCING NOT SHOWN FOR CLARITY.
  - REINFORCEMENT SHALL BE PLACED SYMMETRICALLY AROUND C.L. OF BASE PLATE.



**7**  
**S0.2** **TYPICAL FOOTING REINFORCING LAP AT CORNERS & INTERSECTIONS (U.N.O.)**  
N.T.S.

- NOTE: 1. PROVIDE VERTICAL DOWELS TO MATCH SIZE AND LOCATION OF WALL REINFORCING, TYP. WHERE OCCURS.



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SKYWALKER INVESTMENTS, INC  
1615 RIVER ROAD  
BRIDGE REPLACEMENT  
TYPICAL CONCRETE DETAILS  
PLACER COUNTY  
TAHOE CITY  
CALIFORNIA

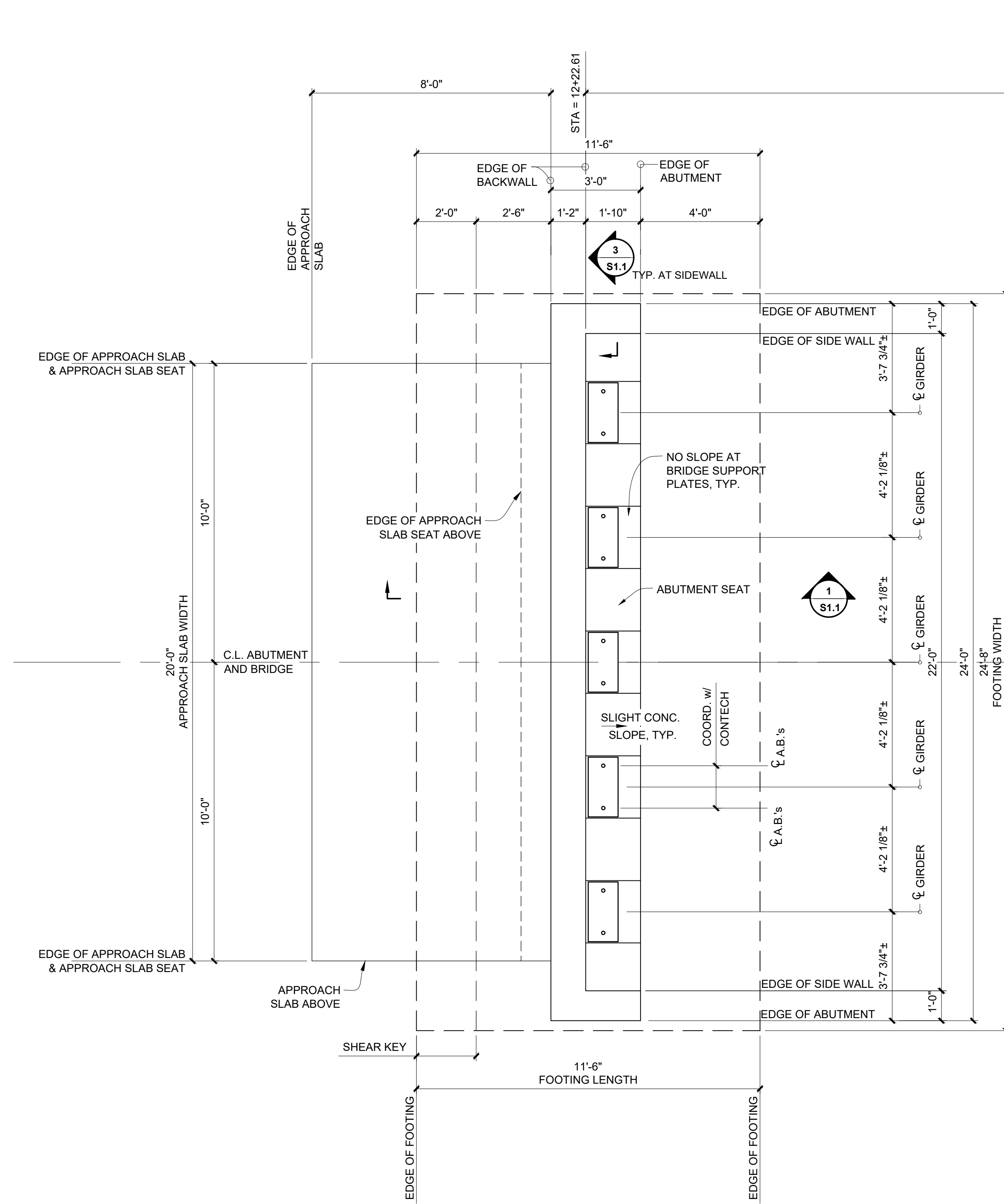
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**PERMIT SUBMITTAL**  
FEBRUARY 2023

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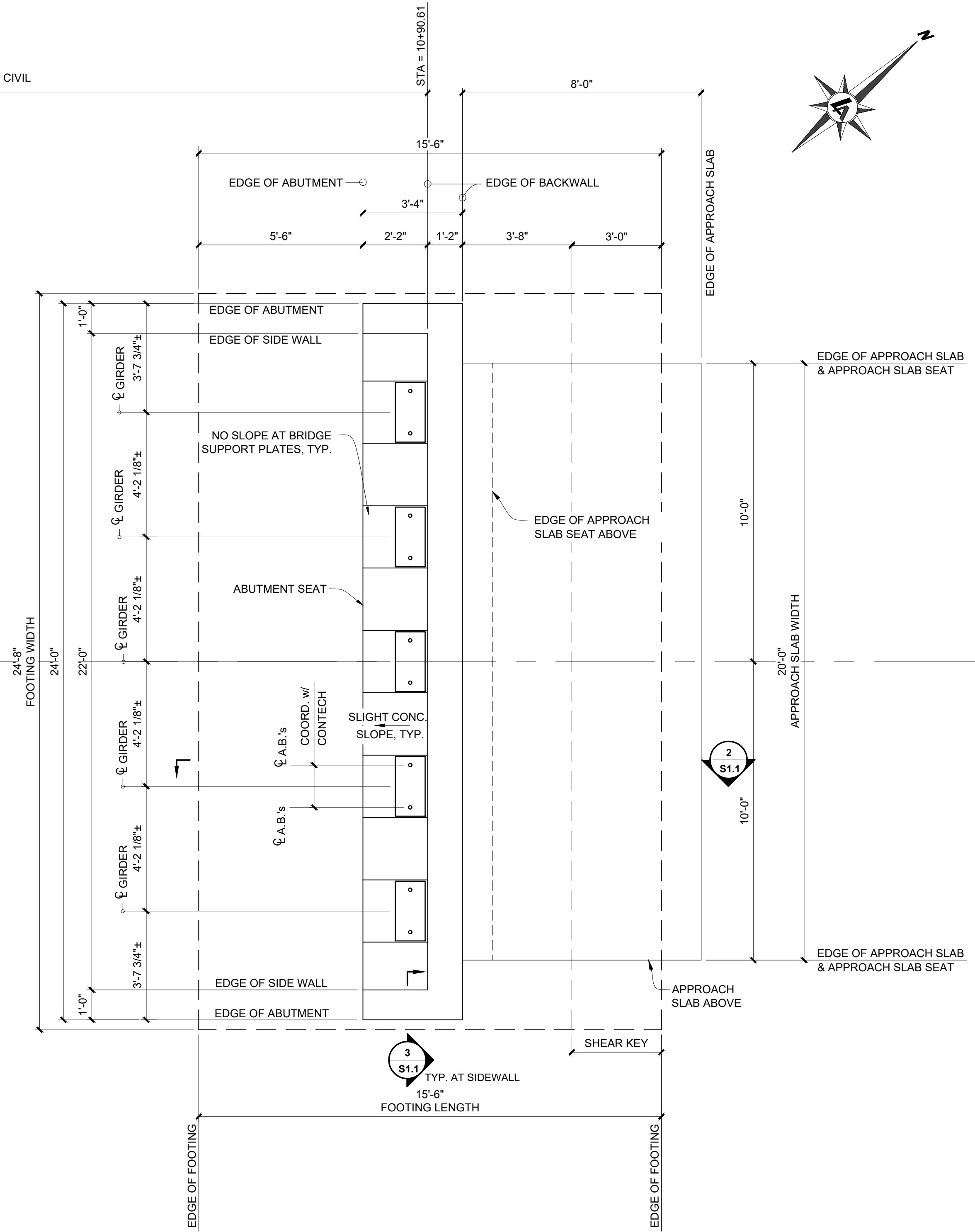
**S0.2**  
DRAWN BY: K.L.Q.  
DESIGNED BY: M.K.  
CHECKED BY: B.C.E.  
JOB NO.: 10902.000

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02/10/2023 02:43 pm Kileasa



**SOUTH SIDE BRIDGE ABUTMENT (FREE END)**

132'-0" COORD. w/ CONTECH & CIVIL

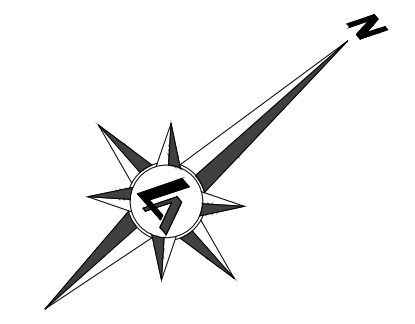


**NORTH SIDE BRIDGE ABUTMENT (FIXED END)**

THE CONTRACTOR SHALL REFER TO DRAWINGS AND/OR SPECIFICATIONS BY OTHERS FOR ALL ADDITIONAL INFORMATION PERTINENT TO THE CONSTRUCTION OF THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO THOROUGHLY REVIEW THESE DOCUMENTS PRIOR TO CONSTRUCTION. THESE DIMENSIONS ARE CONTINGENT ON FINAL BRIDGE DESIGN AND WILL BE REVIEWED AFTER FINAL REACTIONS HAVE BEEN SUBMITTED BY THE BRIDGE DESIGNER.

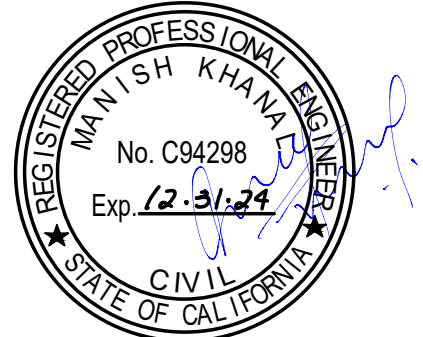
**1 S1.0 BRIDGE FOUNDATION PLAN**  
SCALE: 3/8"=1'-0"

- NOTES: 1. SEE CIVIL PLANS FOR ABUTMENT LOCATION.  
2. CONTRACTOR TO COORDINATE ALL DIMENSIONS & CONDITIONS w/ CONTECH.  
3. SEE S0.2 FOR TYPICAL CONCRETE DETAILS.



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02/10/2023

SKYWALKER INVESTMENTS, INC.

1615 RIVER ROAD

BRIDGE REPLACEMENT

ABUTMENT FOUNDATION PLANS

TAHOE CITY

PLACER COUNTY

CALIFORNIA

| REV | DATE | DESCRIPTION |
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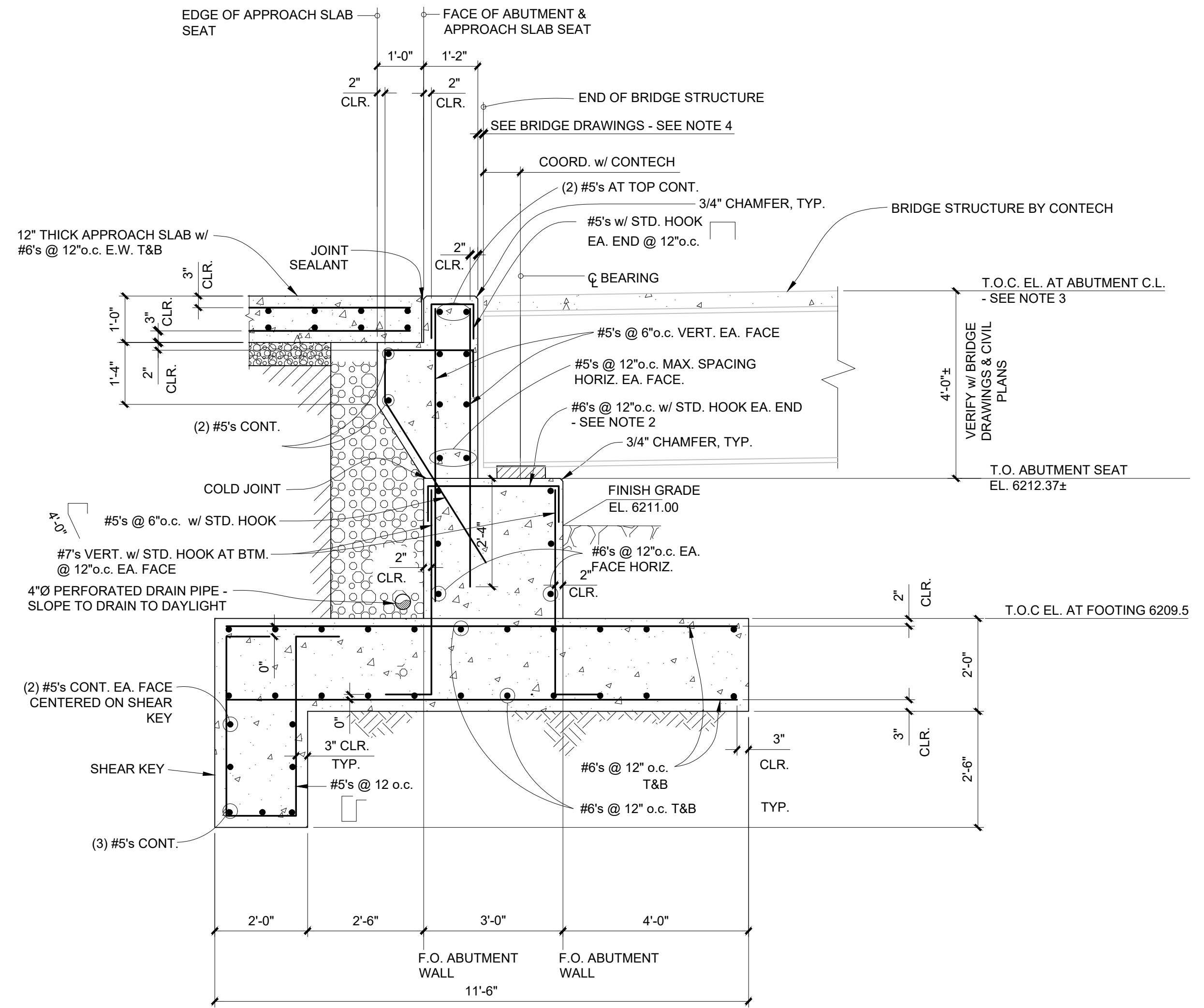
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FEBRUARY 2023

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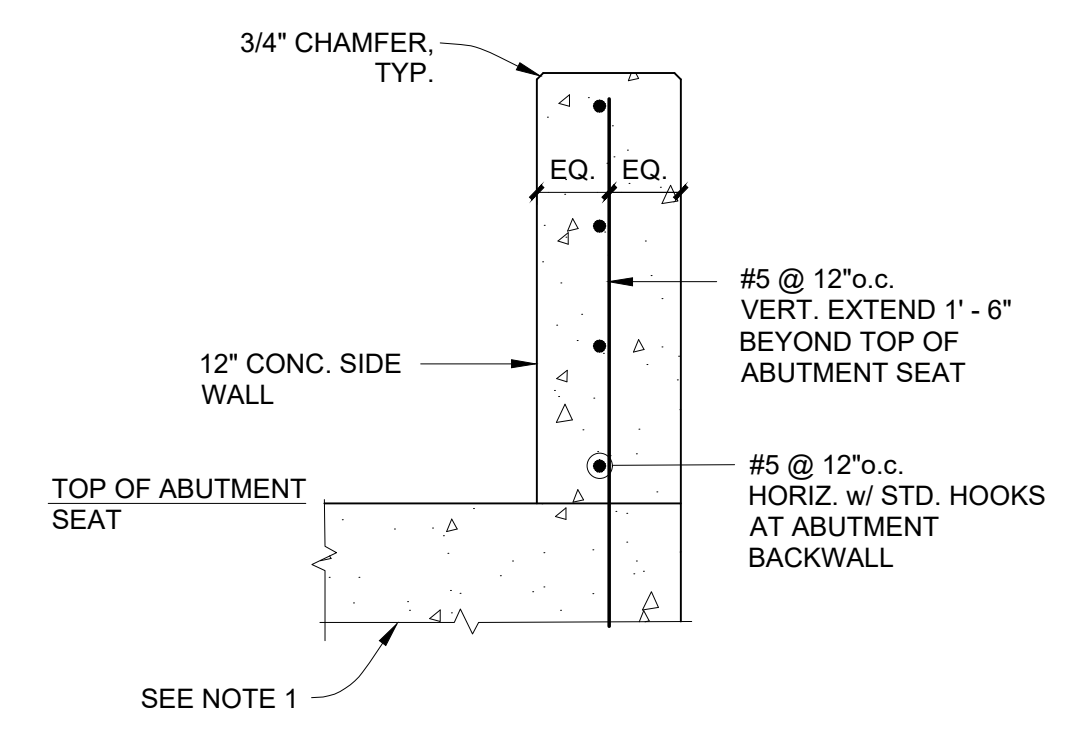
**S1.0**

DRAWN BY: K.L.Q.  
DESIGNED BY: M.K.  
CHECKED BY: B.C.E.  
JOB NO.: 10902.000



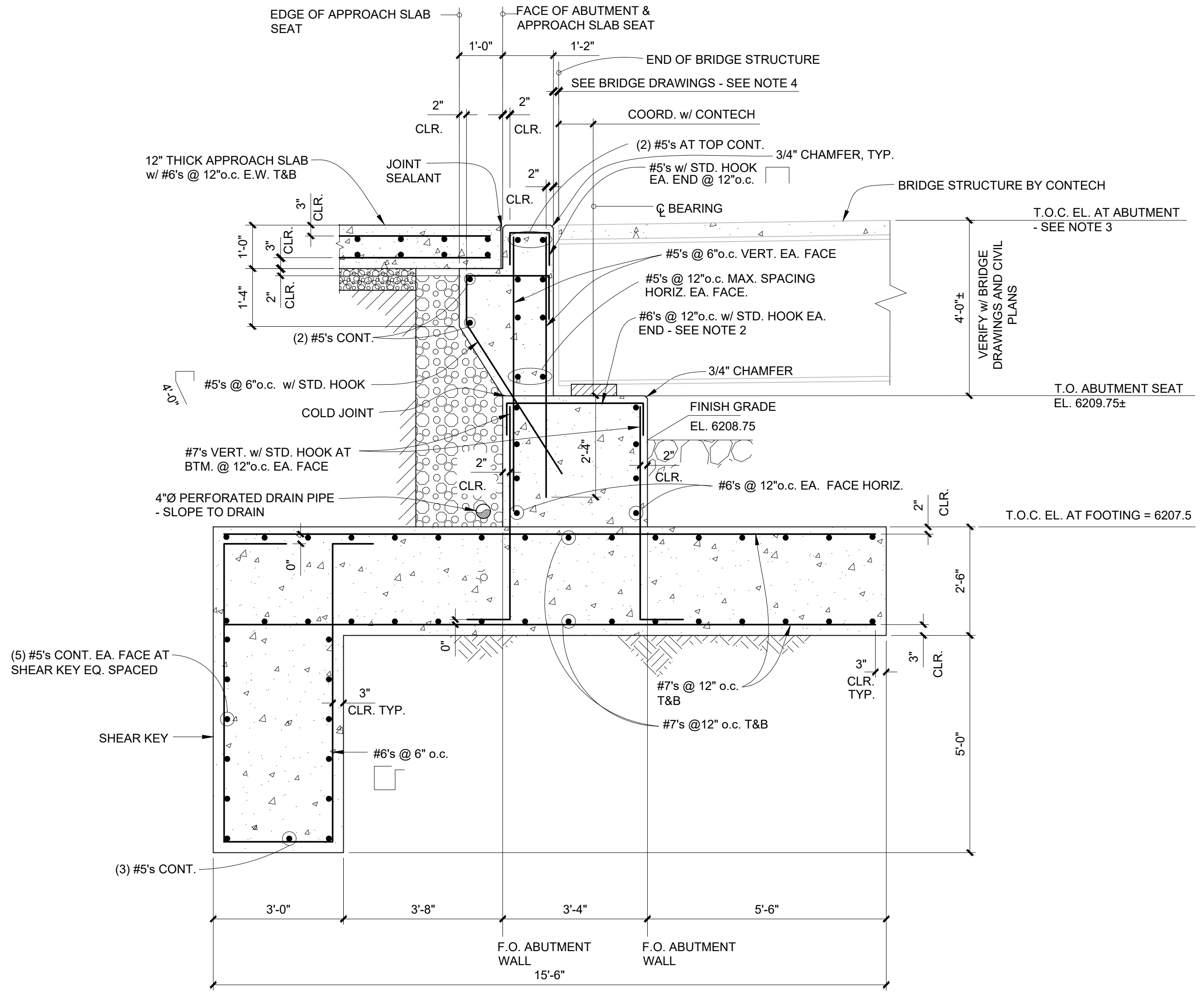
**1 FREE END ABUTMENT WALL**  
S1.1 SCALE: 1/2"=1'-0"

- NOTES:
1. SEE 1/S0.2 FOR TYPICAL FOUNDATION AND BACKFILL PREPARATION.
  2. SEE 4/S0.2 FOR ANCHORAGE INFORMATION AND REBAR SPACING AROUND ANCHORS.
  3. SLOPE T.O.C. EL. AT ABUTMENT TO MATCH BRIDGE DECK SLOPE. COORD. w/ CONTECH.
  4. COORD. w/ BRIDGE DRAWINGS TO PROVIDE CLEARANCE BETWEEN BRIDGE DECK AND ABUTMENT. SEAL THE GAP w/ ELASTOMERIC SEALANT.
  5. COORD. ALL ELEVATIONS w/ CIVIL AND BRIDGE DRAWINGS.



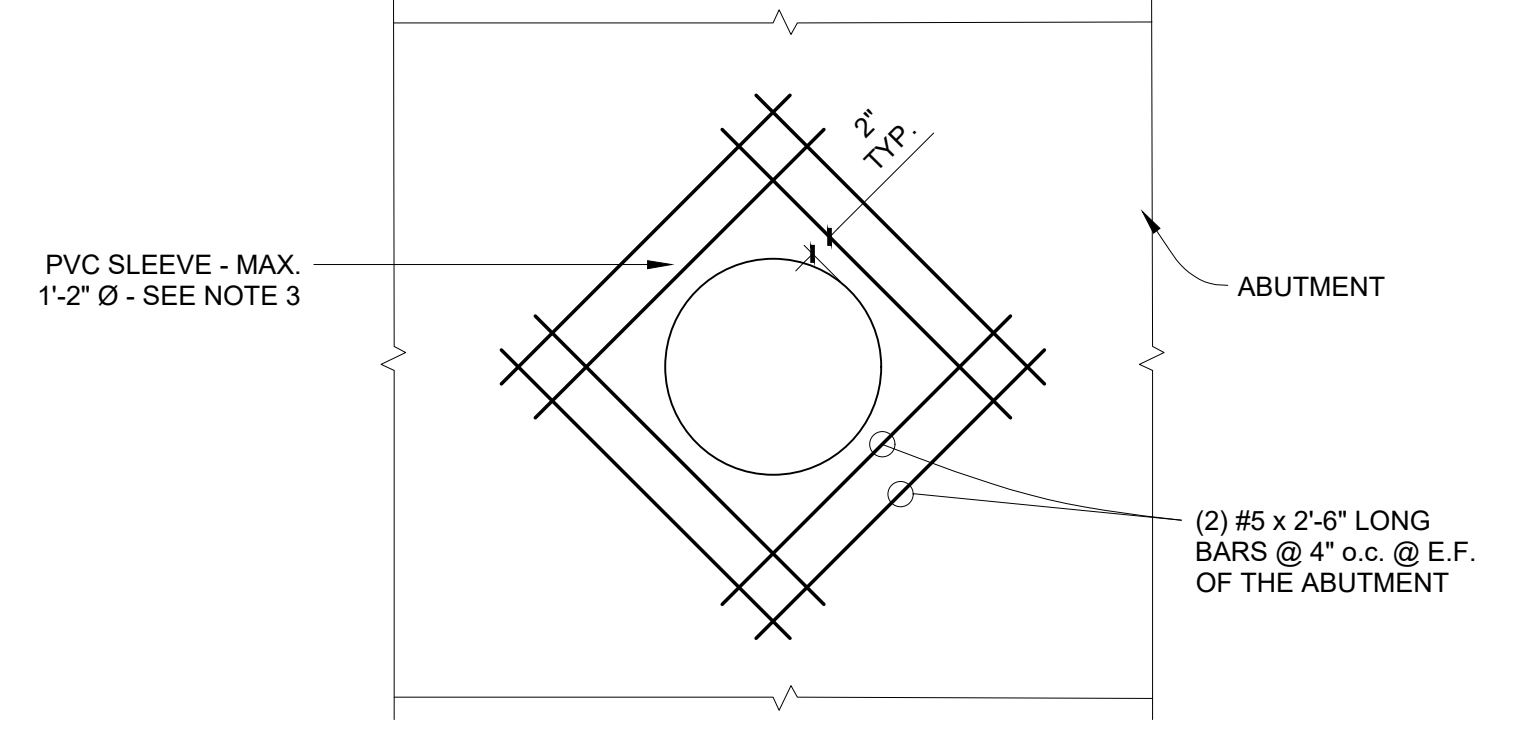
**3 SIDEWALL DETAIL**  
S1.1 SCALE: 3/4"=1'-0"

NOTES: 1. ABUTMENT REINF. NOT SHOWN FOR CLARITY.



**2 FIXED END ABUTMENT WALL**  
S1.1 SCALE: 1/2"=1'-0"

- NOTES:
1. SEE 1/S0.2 FOR TYPICAL FOUNDATION AND BACKFILL PREPARATION.
  2. SEE 4/S0.2 FOR ANCHORAGE INFORMATION AND REBAR SPACING AROUND ANCHORS.
  3. SLOPE T.O.C. EL. AT ABUTMENT TO MATCH BRIDGE DECK SLOPE. COORD. w/ CONTECH.
  4. COORD. w/ BRIDGE DRAWINGS TO PROVIDE CLEARANCE BETWEEN BRIDGE DECK AND ABUTMENT. SEAL THE GAP w/ ELASTOMERIC SEALANT.
  5. COORD. ALL ELEVATIONS w/ CIVIL AND BRIDGE DRAWINGS.



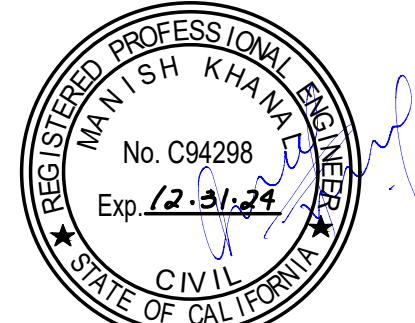
**4 TYPICAL UTILITY PIPE OPENING DETAIL**  
S1.1 SCALE: 3/4"=1'-0"

- NOTES:
1. ADJUST VERT. & HORIZ REINFORCING AROUND OPENINGS.
  2. OPENINGS SHALL BE MIN. 1'-6" FROM THE EDGE OF CONCRETE AND 2'-0" FROM ADJACENT OPENING.
  3. PVC SLEEVE SHALL HAVE INTERNAL DIAMETER AT LEAST ONE INCH MORE THAN UTILITY PIPE.



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02/10/2023

SKYWALKER INVESTMENTS, INC  
1615 RIVER ROAD  
BRIDGE REPLACEMENT  
ABUTMENT SECTIONS  
CALIFORNIA  
PLACER COUNTY  
TAHOE CITY

| REV | DATE | DESCRIPTION |
|-----|------|-------------|
|     |      |             |
|     |      |             |
|     |      |             |

**PERMIT SUBMITTAL**  
FEBRUARY 2023

BAR IS 1 INCH ON ORIGINAL DRAWING  
0 1  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**S1.1**  
DRAWN BY: K.L.Q.  
DESIGNED BY: M.K.  
CHECKED BY: B.C.E.  
JOB NO.: 10902.000